

AA 0071-06 Pleasure Cove Marina

Site Plan
05-0068

123

MSA-S-1829-5391

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

July 1, 2010

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
Modification #11120
B02265823, P 10-004400NA

Dear Ms. Krinetz:

Thank you for forwarding a modification request for the above-referenced project. The applicant requests a modification to the County's site development plan review requirements in order to skip this process to make alterations to a previously approved site plan to add a 100 square foot platform surrounding an existing fuel shed on a pier for locating emergency equipment. According to the applicant's previously submitted plans, 21.48 acres of the 22.59 acre property are in the Critical Area with 9.43 acres designated as a Limited Development Area (LDA) and 12.03 acres designated as a Resource Conservation Area (RCA). The property is currently developed as a commercial marina and is mapped as a Buffer Modification Area (BMA).

This office has no comment on the proposed fuel shed platform addition.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,

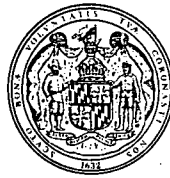
A handwritten signature in dark ink, appearing to read "Amber Widmayer".

Amber Widmayer
Natural Resources Planner

cc: AA 210-10
AA 71-06

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

April 27, 2010

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C-05-0068-00NC, G 02011840
S 10-015, P 10-004400NA

Dear Ms. Krinetz:

Thank you for forwarding a revised site plan for the above-referenced project for review and comment. According to the applicant's previously submitted plans, 21.48 acres of the 22.59 acre property are in the Critical Area with 9.43 acres designated as a Limited Development Area (LDA) and 12.03 acres designated as a Resource Conservation Area (RCA). The property is currently developed as a commercial marina and is mapped as a Buffer Modification Area (BMA). In addition to the proposed construction of two new maintenance buildings and an access road that was shown on the applicant's previously submitted plans that were reviewed and commented on by this office, at this time the applicant proposes the removal of an existing restaurant on the property, construction of a new restaurant and a new multi-purpose marina building. Additionally, the applicant proposes to pave an existing gravel lot and to regrade and repave the existing entry road. The applicant has not addressed this office's previous comments and questions which remained following the County's May 11, 2009 approval of the site development plan. These comments and questions were outlined in my April 28, 2009 and July 29, 2009 letters. I have outlined my current comments on the revised submitted plans below:

The property is currently developed in excess of the 15% LDA lot coverage limit but because it appears that this development occurred prior to the implementation of the County's Critical Area program and because the current project proposes to decrease the total lot coverage, this office does not find the proposed project objectionable with reference to the property's nonconformance with the lot coverage limits.

- 1) The County has assigned the revised submittal a subdivision number. It is unclear from the plans whether subdivision of the property is proposed. Please clarify why the project has been assigned a subdivision number.

- 2) It appears that the applicant proposes construction of a parking lot waterward of existing development on the property and within the 25-foot BMA setback. It is unclear how this is permissible under the County's Critical Area program.
- 3) It appears that the development on the applicant's revised plans creates disturbance within slopes 15% or greater. Such disturbance is prohibited in the absence of the applicant obtaining a variance.
- 4) The applicant's plans show calculations for existing vegetated area and existing woodlands. Please have the applicant clarify how the two calculations are distinguishable. Also, please have the applicant provide calculations for the area of existing trees or woody vegetation that will be cleared as a result of the previously approved site development plan, and for the revised site development plan.
- 5) Please have the applicant provide a planting plan showing how the required reforestation mitigation described above will be addressed. Also, please have the applicant quantify and show how any Buffer mitigation from the previously approved plan and from the revised site plan will be addressed.
- 6) Please have the applicant identify on the plans where existing areas of lot coverage will be removed such that there will be a net reduction from the existing 305,075 square feet of lot coverage to 295,496 square feet of lot coverage, with the now proposed construction of two new buildings, a parking lot, and the previously proposed construction of two new maintenance buildings and an access road to the forklift.

Due to the number and significance of the questions and comments raised by the proposed project, this office suggests that the most efficient way for the applicant to provide the necessary information and proceed with review of the plans would be for the applicant to contact County and Commission staff to schedule a site visit. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,



Amber Widmayer
Natural Resources Planner

cc: AA 71-06

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

July 29, 2009

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C-05-0068-00NC, G 02011840

Dear Ms. Krinetz:

Thank you for forwarding the above-referenced site plan for review and comment. The applicant proposes to construct two new maintenance buildings and an access road to the proposed forklift at the shoreline on the 22.59 acre property. The property is currently developed as a commercial marina with 21.48 acres of the property in the Critical Area, 9.43 acres of which are designated as a Limited Development Area (LDA) and 12.03 acres of which are designated as a Resource Conservation Area (RCA). The property is currently developed in excess of the 15% LDA lot coverage limit but because it appears that this development occurred prior to the implementation of the County's Critical Area program, and because the current project proposes to decrease the total lot coverage, this office does not find the proposed project objectionable with reference to the property's nonconformance with the lot coverage limits. April 28, 2009. I have reviewed the submitted site plans and outlined this office's comments below:

- 1) It is difficult to determine whether the following comment which was included in my last letter has been addressed. For instance, we note that the applicant's chart on the plans indicates that 15,648 square feet of mitigation plantings will be provided for the impacts within the BMA and for establishment of a 25-foot Bufferyard. However, it is unclear where this amount of plantings has been provided within the planting plan, as no area is specifically shown as corresponding with this 15,648 square foot amount. Please have the applicant provide a chart or some information that breaks down the **all** of the previous and proposed impacts to the site, the resulting mitigation requirements, how and within which planting area these mitigation planting requirements are being addressed, and if applicable, if any leftover requirements for each impact will be addressed by fee in lieu payment. Also, please provide within this chart a brief description of the previous violations that are to be addressed within the identified planting areas, including the acreage of impact that was created by the violation. I have provided an example of a chart which if used would supply the requested information regarding the

previous and proposed impacts to the property and the resulting required and proposed mitigation in a comprehensible format.

What is the Impact- describe the activity	Size of impact	Nature of impact (permitted? violation?)	If violation, how has it been addressed? Citation? Fee?	Mitigation ratio	Total sf mitigation required	Mitigation Provided how? How much in which mitigation area(s)?
i.e. 210' revetment	sf?	Permitted by MDE #?, & Co permit #?		1:1 for footprint of revetment 2:1 for construction access		
i.e. #E-2008-0357, description?	sf?	Violation?	?	3:1?	?	?sf planted in ? Area, ?sf provided by fee

2) The applicant indicates that any impacts to the Buffer from the activities described within the MDE permit application, and summarized below, for reconfiguration of the marina have been incorporated into the provided mitigation calculations. Please provide additional information about each activity's impact within the Buffer and how the resulting Buffer mitigation requirement was calculated as shown in the above table. We note that mitigation plantings must be provided at a ratio of 1:1 for the total footprint of disturbance that is above mean high water and in the 100-foot Buffer from grading, clearing or the placement of sand or stone for shoreline erosion control structures. If any such disturbance is required in the Buffer for access to construct the shoreline erosion control structure, mitigation must be provided at a 2:1 ratio. Please provide information about the area of Buffer impacts if applicable for each of the proposed activities within the MDSPGP-3 #05-1010(R) permit listed below as well as information showing how each Buffer disturbance will be addressed:

- 29-foot long by 4-foot wide timber walkway
- 81-foot long by 4-foot long timber walkway
- 74-foot long retaining wall
- 27-foot long retaining wall
- 210-foot revetment where existing riprap is failing which will fill 91 square feet of existing marsh
- 80 linear feet of bulkhead at hillside and travel lift area where approved to dredge and reconstruct piers and slips
- Creation of 1,600 square feet of marsh in Perry's Cove as mitigation for impacts to marsh in marina basin

- Excavate dredge 479 square foot area to the six-foot depth (this is a 3:1 mitigation ratio)
 - Excavate dredge 553 square foot area to the six-foot depth in the proposed fork lift well area
- 3) In response to the following comment included in this office's previous comment letter, the applicant states that the basis for the calculated 20,723 square foot lot coverage reduction is the proposed removal of a 22,362 square foot gravel parking lot. The rest of the response states, "the remainder of the project approximately balances the new roadway with landscaping areas created as part of the project." It is unclear what this means. I have reiterated my previous comment and request for information as follows: The applicant's lot coverage calculations on the plans indicate that the total proposed lot coverage, 284,352 square feet, is a 20,723 square foot decrease from the existing 305,075 square feet, and that this figure takes account of the fact that there is a new 7,900 square foot road being constructed. Please have the applicant quantify the area of structures or surfaces that are being removed that will create this lot coverage reduction.
- 4) In response to this office's previous comment included below, the applicant states, "the violation mitigation planting square footage amounts are based upon the agreement reached with Anne Arundel County and set forth in the October 8, 2008 letter from Ms. Betty Dixon, Director of Inspection and Permits." It is this office's understanding that the County uses the Commission's guidelines outlined below in determining the sizes of plantings that must be provided to meet mitigation requirements. It is unclear from the size descriptions in the schedule if proposed plant sizes meet the Commission's planting credit guidelines. This office generally recognizes 100 square feet of planting credit per 2-inch caliper tree and 50 square feet of planting credit per seedling or shrub in a 3-5 gallon container. If a large tree is planted in a cluster with either two smaller trees or three shrubs, this office will recognize 400 square feet of planting credit for each cluster. Please have the applicant make any necessary changes to the planting plan in order to meet these planting credit guidelines. Also, please forward a copy of the County's October 8, 2008 letter from Ms. Betty Dixon.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,



Amber Widmayer
Natural Resources Planner

cc: AA 71-06

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401

(410) 260-3460 Fax: (410) 974-5338

www.dnr.state.md.us/criticalarea/

April 28, 2009

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C-05-0068-00NC, G 02011840

Dear Ms. Krinetz:

Thank you for forwarding the above-referenced site plan for review and comment. The applicant proposes to construct two new maintenance buildings and an access road to the proposed forklift at the shoreline on the 22.59 acre property with 21.48 acres in the Critical Area. The property is designated as a Limited Development Area (LDA) and a Resource Conservation Area (RCA) and is currently developed as a commercial marina. It is unclear how much of the property is LDA and how much is RCA. The property is currently developed in excess of the 15% LDA lot coverage limit and the 15% RCA lot coverage limit but because it appears that this development occurred prior to the implementation of the County's Critical Area program, and because the current project proposes to decrease the total lot coverage, this office does not find the proposed project objectionable with reference to the property's nonconformance with the lot coverage limits. I have reviewed the submitted site plans and outlined this office's comments below:

- 1) Please have the applicant provide the acreage that is within the LDA and within the RCA on the property. We note that the lot coverage calculations should be corrected to reflect the lot coverage that is within the LDA as a separate number from the lot coverage that is within the RCA. The RCA and LDA land designations represent distinct characteristics and the statutory limits for lot coverage do not provide for a transfer of allowed lot coverage from one Critical Area designation to another.
- 2) We note that the applicant has provided 10% pollutant reduction calculations with the site plan which is typically only done when development activities are proposed on properties designated as Intensely Developed Areas (IDA). However, we note that in this circumstance, because the current footprint of development far exceeds the 15% LDA and 15% RCA lot coverage limit, the applicant's proposal to meet the 10% pollutant removal requirement in

TTY for the Deaf

Annapolis: (410) 974-2609 D.C. Metro: (301) 586-0450

conjunction with this project is a logical and effective method of providing treatment for the excess stormwater runoff created by the excess lot coverage on the property.

- 3) Please have the applicant confirm that the footprint of disturbance for the proposed bioretention facility that is located within the 100-foot Buffer will be located outside of the 25-foot BMA setback. Also, please have the applicant provide information about the purpose of the proposed stone check dam that is shown crossing through the 100-foot Buffer and 25-foot BMA setback. Stormwater treatment should not create disturbances within the 25-foot BMA setback.
- 4) The Buffer has not been correctly expanded to include contiguous slopes 15% or greater and 50 feet from the top of the slopes as required by the County's Code. In some locations, the Buffer is not even 100 feet wide. For instance, in the location of the existing house on the property and on Parcel 211, it appears that the Buffer has been drawn in front of the houses such that the Buffer is less than 100 feet. Please have the applicant correctly map the 100-foot Buffer and expanded Buffer as required by the County's Code § 18-13-104.
- 5) Please have the applicant clearly map the 25-foot BMA setback line on the plans.
- 6) We note that the applicant's chart on the plans indicates that 15,648 square feet of mitigation plantings will be provided for the impacts within the BMA and for establishment of a 25-foot Bufferyard. However, it is unclear where this amount of plantings has been provided within the planting plan, as no area is specifically shown as corresponding with this 15,648 square foot amount. Please have the applicant provide a chart or some information that breaks down the mitigation requirements that are being addressed within each planting area. Also, please provide within this chart a brief description of the previous violations that are to be addressed within the identified planting areas, including the acreage of impact that was created by the violation.
- 7) Mitigation plantings must be provided at a ratio of 1:1 for the total footprint of disturbance that is above mean high water and in the 100-foot Buffer from grading, clearing or the placement of sand or stone for shoreline erosion control structures. If any such disturbance is required in the Buffer for access to construct the shoreline erosion control structure, mitigation must be provided at a 2:1 ratio. Please provide information about the area of Buffer impacts if applicable for each of the proposed activities within the MDSPGP-3 #05-1010(R) permit listed below as well as information showing how each Buffer disturbance will be addressed:
 - 29-foot long by 4-foot wide timber walkway
 - 81-foot long by 4-foot long timber walkway
 - 74-foot long retaining wall
 - 27-foot long retaining wall
 - 210-foot revetment where existing riprap is failing which will fill 91 square feet of existing marsh
 - 80 linear feet of bulkhead at hillside and travel lift area where approved to dredge and reconstruct piers and slips
 - Creation of 1,600 square feet of marsh in Perry's Cove as mitigation for impacts to marsh in marina basin

- Excavate dredge 479 square foot area to the six-foot depth, (which appears may be in the 100-foot Buffer)
 - Excavate dredge 553 square foot area to the six-foot depth in the proposed fork lift well area
- 8) Please confirm that none of the proposed Buffer disturbances covered by MDSPGP-3 #05-1010(R) as listed above required the standard permit that was the subject of the March 14, 2008 Army Corps of Engineers (USACE) letter. This letter stated that the 110,500 square feet of proposed maintenance dredging in connection with the State MDSPGP-3 permit #05-1010(R) is not covered under that permit and instead must be covered under a USACE standard permit. If such a permit was required for any Buffer disturbances, please provide the standard permit. Also, please have the applicant clarify how much, if any, of the proposed marina reconfiguration has been completed, since the letter refers to this reconfiguration as being "underway." In particular, please have the applicant clarify whether the excavation dredging areas listed in comment #7 are existing or proposed.
- 9) The applicant's lot coverage calculations on the plans indicate that the total proposed lot coverage, 284,352 square feet, is a 20,723 square foot decrease from the existing 305,075 square feet, and that this figure takes account of the fact that there is a new 7,900 square foot road being constructed. Please have the applicant quantify the area of structures or surfaces that are being removed that will create this lot coverage reduction.
- 10) Please have the applicant clarify what is meant by the calculation labeled "total vegetated area =2.57 acres," under the Site Analysis table on the cover sheet of the plans.
- 11) It is this office's understanding that the new 7,900 square foot road that is noted on the cover sheet of the plans, will be located in the area that is shown as an L-shaped gray shaded area on sheet 8 of 25. If this is correct, please have the applicant show the proposed road on future plans. Please have the applicant confirm that the total area of disturbance for the new footprint of the road has been incorporated into the BMA mitigation calculations at the 2:1 ratio for the portion of the disturbance that is within the BMA. Also, it appears that the proposed disturbance for the road within the BMA is shown within slopes 15% and greater, and therefore, a variance must be obtained to § 17-8-201 of the County's Code for the proposed steep slope disturbance. For the portion of the disturbance that is within Parcel 211, within the 100-foot Buffer and outside of the BMA, please quantify the area of 100-foot Buffer disturbance from the proposed clearing, grading and lot coverage for what has been determined to be a water dependent road. This area of disturbance must be mitigated at a 2:1 ratio. Please have the applicant identify how this mitigation will be addressed in the requested mitigation chart in comment #6 of this letter.
- 12) There is a note next to forest conservation parcel # 7 on sheet 8 of 25 that states that this area provides reforestation for offsite clearing. Please have the applicant provide information about the offsite clearing this conservation parcel will address.
- 13) It is unclear why the proposed limit of disturbance as shown on sheet 8 of 25 has been drawn to include certain areas. In particular, it does not appear that anything is proposed on the western

side of the sheet, where the limit of disturbance has been drawn to include a cluster of trees, and on the eastern edge of the sheet, where the line extends into a skinny loop into the middle of Parcel 211 with no apparent proposed activity shown within. Please have the applicant refine the proposed limits of disturbance, or provide further explanation as to why they were drawn as proposed.

- 14) Please have the applicant quantify the total area of proposed disturbance within the BMA 25-foot setback and within the rest of the BMA from grading and clearing, minus the area of new lot coverage.
- 15) It is unclear from the provided information if past violations on the property involved clearing of existing forested areas. At this time, the plans indicate that an additional 14,347 square feet of the existing 329,524 square feet of forested area will be cleared. Please have the applicant clarify if this number includes all proposed clearing within the limits of disturbance, including the proposed clearing in the BMA and in the Buffer outside of the BMA for the proposed forklift road. If so, please have the applicant provide a breakdown of this proposed clearing so that it is clear how much clearing is proposed outside of the 100-foot Buffer and BMA. This area of clearing that has not been addressed through BMA mitigation requirements must be addressed through reforestation mitigation requirements at a 1:1 ratio. If greater than 20% of the total forested area on the property has been cleared as a result of the past violations and the currently proposed clearing, then mitigation at a 1.5:1 ratio may be required.
- 16) It appears that many of the species in the proposed Critical Area Buffer Plant Schedule are not native species. We recommend that the applicant replace the non-native species with native species that can be found in the U.S. Fish and Wildlife Service's Native Plants for Wildlife Habitat and Conservation Landscaping: Chesapeake Bay Watershed document, available at <http://www.nps.gov/plants/pubs/chesapeake/>. Also, it is unclear from the size descriptions in the schedule if proposed plant sizes meet the Commissions planting credit guidelines. This office generally recognizes 100 square feet of planting credit per 2-inch caliper tree and 50 square feet of planting credit per seedling or shrub in a 3-5 gallon container. If a large tree is planted in a cluster with either two smaller trees or three shrubs, this office will recognize 400 square feet of planting credit for each cluster. Please have the applicant make any necessary changes to the planting plan in order to meet these planting credit guidelines.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,

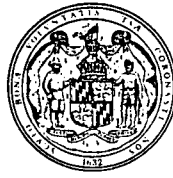


Amber Widmayer
Natural Resources Planner

cc: AA 71-06

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

September 25, 2007

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Ms. Krinetz:

I have received a resubmittal for the above-referenced request. We have reviewed the Buffer Plan and it appears to meet the County's Buffer Management Area mitigation requirements.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3476 or Lisa Hoerger at (410) 260-3478 if you have any questions.

Sincerely,

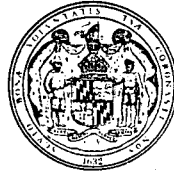
A handwritten signature in cursive script, appearing to read "Megan J. Sines".

Megan J. Sines
Natural Resources Planner

cc: AA 71-06

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

July 26, 2007

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Ms. Krinetz:

I have received a resubmittal for the above-referenced request. It appears the applicant has addressed the comments in the last letter from this office dated April 12, 2007. Please forward a copy of the planting plan when it is completed.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3476 or Lisa Hoerger at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Megan J. Sines".

Megan J. Sines
Natural Resources Planner

cc: AA 71-06



STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

April 12, 2007

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Ms. Krinetz:

I have received a resubmittal for the above-referenced request. It appears the applicant has addressed the comments in the last letter from this office dated January 23, 2007. I have outlined my comments below:

1. All plants approved as part of the planting plan should be native species.
Suggested alternatives to proposed non-native species follow:

Proposed Non-native	Suggested Native Alternative
Glossy Abelia	Inkberry, Chokeberry, Bayberry, Spicebush
Goldenrod (<i>Solidago austrina</i>)	Use native species of Goldenrod
Hardy Fountain Grass	Switchgrass
Juliana Barberry	Sweet pepperbush, Bayberry, Inkberry

Thank you for the opportunity to comment. Please telephone me at (410) 260-3476 or Lisa Hoerger at (410) 260-3478 if you have any questions.

Sincerely,

Megan J. Sines
Natural Resources Planner

cc: AA 71-06



**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

January 23, 2007

Mr. Dan Gerzack
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6305
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Mr. Gerzack:

I have received another resubmittal for the above-referenced request. The applicant has addressed the comments of my last letter dated October 6, 2006. I have outlined my remaining comments below.

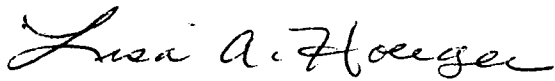
1. The required planted 25-foot waterfront buffer appears to vary in width, and it is unclear on the plans whether any of the required 2:1 mitigation (17,464 sf) is being doubled counted by being located in the 25-foot waterfront buffer area. Please ensure the applicant is providing a 25-foot planted area in addition to the 17,464 square feet of plantings required.
2. It appears the Code does provide that structures may be located on existing footprints or existing impervious areas; however, there appears to be adequate room on this site to locate this building outside the 100-foot Buffer. As stated in previous comment letters, it is still our position that the building is not water-dependent and therefore, should not be viewed as water-dependent.
3. The Code in Article 17-8-703 outlines when development can be in the Buffer in a Buffer Modification Area (BMA), and it appears that if the structure is not water-dependent, it should be located outside the Buffer (see 17-8-703(b)(1)). The applicant still needs to demonstrate to the satisfaction of your office how this proposal meets the BMA requirements of the Code.

Mr. Gerzack
January 23, 2007
Page Two

4. No updated Landscape Plan was provided that included the type, number and size of species proposed for the mitigation requirements associated with the Buffer Modification Area mitigation. Please have the applicant include this information.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script, reading "Lisa A. Hoerger".

Lisa A. Hoerger, Chief
Project Evaluation Division

cc: AA 71-06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

October 6, 2006

Mr. Dan Gerzack
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6305
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Mr. Gerzack:

I have received a resubmittal for the above-referenced request. The applicant has addressed the comments of my last letter dated July 10, 2006. I have outlined my remaining comments below.

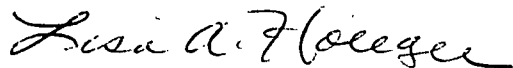
1. The Buffer mitigation shown on sheet 1 of 7 of the Grading plans only includes the 2:1 mitigation ratio. The County Code also requires a 25-foot waterfront buffer in addition to the 2:1 requirement. The applicant must demonstrate how this requirement is being met.
2. The applicant has not responded to our last comment concerning the issue of the structure being water-dependent. It is still our position that the building is not water-dependent and therefore, should not be viewed as water-dependent. The applicant still needs to demonstrate to the satisfaction of your office how this proposal meets the BMA requirements of the Code. It is unclear, but it appears this area of the building may be over existing impervious areas.
3. The Landscape Plan provided does not include details of the number, species and sizes proposed for planting to meet the 2:1 mitigation ratio. This information should be included to ensure adequate plantings are being provided.
4. The plat and plans should also indicate the areas set aside for forest retention in the Critical Area.

Mr. Gerzack
October 6, 2006
Page Two

5. The letter from the Department of Natural Resources should be received prior to final approval, particularly since the last letter indicated two threatened and endangered plant species may be on or near the site.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script, reading "Lisa A. Hoerger".

Lisa A. Hoerger
Natural Resources Planner

cc: AA 71-06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

July 10, 2006

Mr. Dan Gerzack
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6305
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Mr. Gerzack:

I have received the resubmittal for the above-referenced request. The applicant's have addressed the comments of my last letter dated April 11, 2006. I have outlined my remaining comments below.

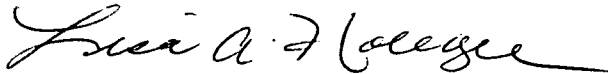
1. It appears the corner of the building has been shifted and is now within the 100-foot Buffer as you noted in your last comments to the applicant. If the site is a Buffer Management Area (BMA), then the Code requires a minimum 25-foot buffer that is densely planted with trees and shrubs and 2:1 mitigation for the area of development (17-8-701). Therefore, the applicant must show how this plan meets the Buffer Modification Area requirements of the code.
2. We do not agree with the applicant's response to your comment that the structure is water-dependent. Regardless of whether this new structure stores watercraft or repairs it does not constitute a water-dependent use that is permitted in the Buffer. Again, if the site is in a BMA, then the applicant needs to demonstrate to the satisfaction of your office how this proposal meets the BMA requirements of the Code.
3. References are made to a Landscape Plan on the Site Development Plans, however, we never received such plans. Consequently, this office is still unable to determine whether the applicant is setting aside the minimum 30% of forest area.

Mr. Gerzack
July 10, 2006
Page Two

4. We will contact the Department of Natural Resources to inquire about the two threatened and endangered plant species; however, the applicant is still primarily responsible for pursuing this information. This issue needs to be resolved prior to final plat approval.
5. This office also requests a copy of the Critical Area Report that we understand is being updated. Please forward a copy of this report when it becomes available.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script, reading "Lisa A. Hoerger".

Lisa A. Hoerger
Natural Resources Planner

cc: AA 71-06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serèy
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

April 11, 2006

Mr. Dan Gerczak
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6305
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068, G 02011840

Dear Mr. Gerczak:

I have received a resubmittal for the above-referenced site plan. The applicant has addressed most of the comments of my last letter dated January 23, 2006. I have outlined my remaining comments below.

1. The minimum forest conservation easement for Critical Area purposes maintains 30% of the existing forested area. The plan submitted shows an area that protects 15% of the existing forest area. Please have the applicant address this issue.
2. The applicant indicated that they will consult with the Department of Natural Resources (DNR) concerning the January 6, 2006 comment letter that indicated the site may support two threatened and endangered plant species. Please have the applicant provide written documentation of DNR's response.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script, reading "Lisa A. Hoerger".

Lisa A. Hoerger
Natural Resources Planner

cc: AA 71-04 06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401

(410) 260-3460 Fax: (410) 974-5338

www.dnr.state.md.us/criticalarea/

Site Plan

January 23, 2006

Mr. Steve Callahan
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6305
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Mr. Callahan:

Thank you for forwarding the site plan and accompanying information for the above-referenced site plan review. The applicant proposes to construct two boat storage buildings in the Limited Development Area (LDA) portion of this site. I have outlined my comments below.

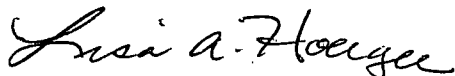
1. It appears the location of both boat storage buildings will not affect any Habitat Protection Areas, including the 100-foot Buffer to Main Creek.
2. We strongly encourage some stormwater management be considered for this site. We understand the reduction of impervious surface will meet the County's Code requirements; however, we are unaware of any stormwater management that is currently on the site, and the proposed grading will direct all stormwater to Main Creek.
3. It is unclear how impervious area on this site will be reduced after the proposed buildings are constructed. It appears an area that is currently gravel will be converted to vegetated area. In order for this to be counted as a conversion to pervious area, the County must first determine that this area of gravel is currently functioning as impervious, and that the removal method and revegetation of the area will create pervious conditions.

Mr. Callahan
January 23, 2006
Page Two

4. We assume the area of the proposed boat storage buildings is already considered impervious due to compacted gravel conditions, and therefore the construction of the buildings will not be creating additional impervious conditions. Please have the applicant confirm his pre and post impervious surface conditions.
5. While no clearing is proposed, the applicant should address the County's afforestation requirements for sites in the Critical Area.
6. The letter from the Department of Natural Resources dated January 6, 2006 indicates the site or the project's vicinity may support two plant species with threatened and endangered status. We recommend the applicant coordinate with DNR to see what type of habitat supports these species in order to determine whether the appropriate habitat exists on-site or within the drainage area of the proposed construction.
7. Finally, the Critical Area Report submitted with the application is dated April 2003. This report makes statements about growth allocation and reclassification requests. We are aware of the history of this property; however, the applicant should amend these sections of the Critical Area Report to reflect the current request. Otherwise, persons not familiar with this site's history can become quickly confused with the request.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

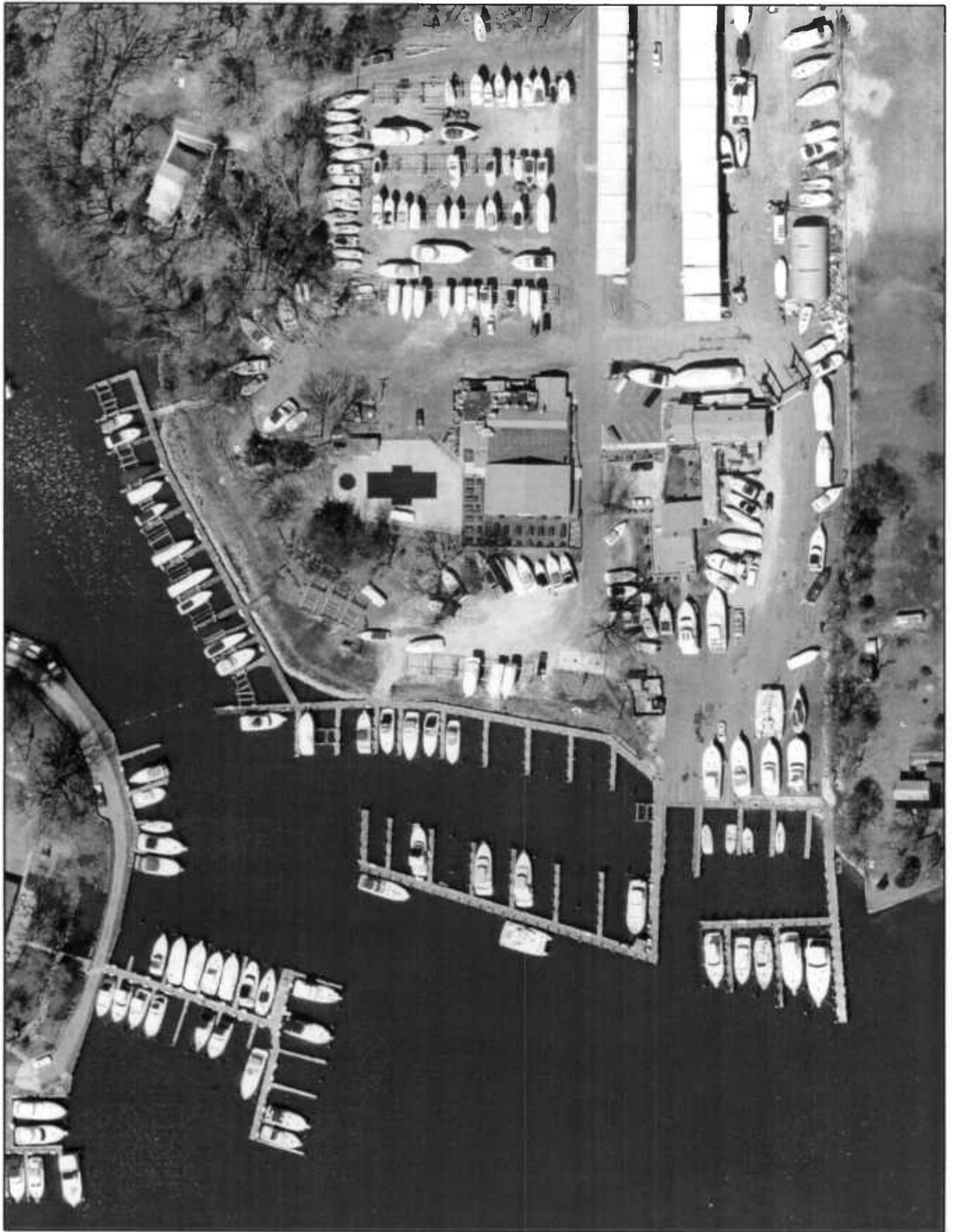
Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: AA 34-04

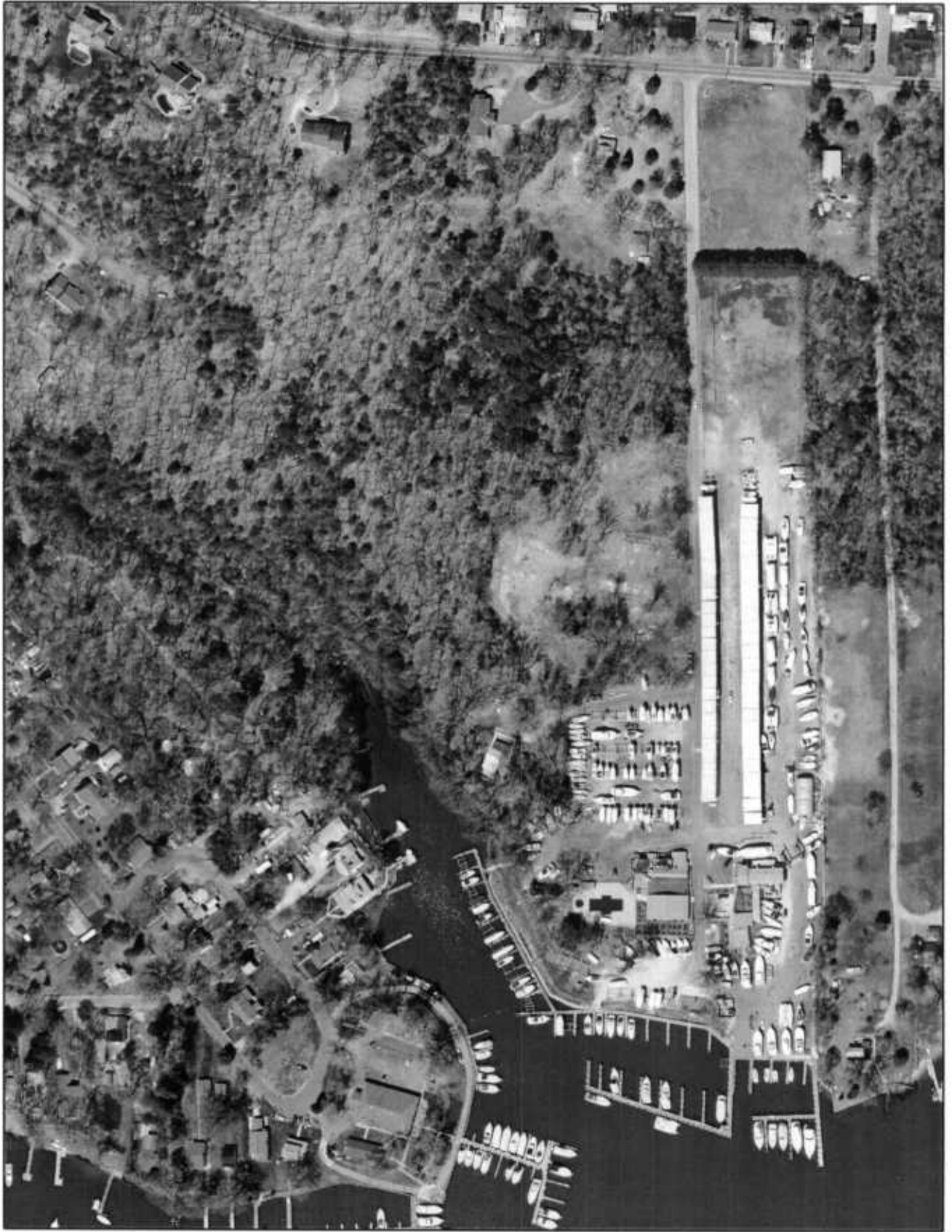
Pleasure Cove Marina, AA Co



1 inch equals 120.06 feet



Pleasure Cove Marina, AA Co



1 inch equals 246.45 feet





MARYLAND
DEPARTMENT OF
NATURAL RESOURCES

RECEIVED

DEC 28 2006

received
11/10/06 3025 JC

446

Robert L. Ehrlich, Jr., Governor

Michael S. Steele, Lt. Governor

C. Ronald Franks, Secretary

November 7, 2006

Ms. Jackie Colestock
Boyd & Dowgiallo, Ltd.
7678 Quarterfield Road
Suite 202
Glen Burnie, MD 21061

RE: Environmental Review for Pleasure Cove Marina Property, 1701 Poplar Rodge Road, Tax Map 18, Parcel 73, Anne Arundel County, Maryland.

Dear Ms. Colestock:

The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. As a result, we have no specific comments or requirements pertaining to protection measures at this time. This statement should not be interpreted however as meaning that rare, threatened or endangered species are not in fact present. If appropriate habitat is available, certain species could be present without documentation because adequate surveys have not been conducted.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,

Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER #2006.2476.aa



Robert L. Ehrlich, Jr., Governor

Michael S. Steele, Lt. Governor

C. Ronald Franks, Secretary

January 6, 2006

Anne Arundel County
Planning & Zoning
Development Division
2664 Riva Road
Annapolis, MD 21401

RE: Environmental Review for Pleasure Cove Marina, Tax Map 14 Parcel 73, Poplar Ridge Road, Pasadena, Anne Arundel County, Maryland.

Dear Sirs:

The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. As a result, we have no specific comments or requirements pertaining to protection measures at this time. Please note however that the utilization of state funds, the need to obtain a state-authorized permit, or changes to the plan might warrant additional evaluations that could lead to protection or survey recommendations by the Wildlife and Heritage Service. Please contact us again for further coordination if this project falls into one of those categories.

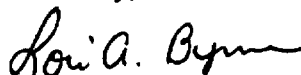
We would also like to point out that our initial evaluation of this project should not be interpreted as meaning that it is not possible for rare, threatened or endangered species to be present. Certain species could be present without documentation because adequate surveys may not have been conducted in the past. Although we are not requiring any surveys, we would like to bring to your attention that Wildlife and Heritage Service's Natural Heritage database records do indicate that the species listed below are known to occur within the vicinity of the project site. If the appropriate habitat is present for these species they could potentially occur on the project site itself. Since populations of these native plants have declined historically we would encourage efforts to help conserve them across the state. Feel free to contact us if you would like technical assistance regarding the conservation of these important species. They are:

<u>Scientific Name</u>	<u>Common Name</u>	<u>State Status</u>
<i>Chamaedaphne calyculata</i>	Leatherleaf	Threatened
<i>Juncus pelocarpus</i>	Brown-fruited Rush	Endangered

3

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,



Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER #2005.2867.aa
Cc: K. McCarthy, WHS
R. Esslinger, CAC

KAK

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

OLD REGS: _____
NEW REGS: ☒

DATE TRANSMITTED: 3/12/10

SUBDIVISION/SITE DEVELOPMENT PLAN TRANSMITTAL

Process Type _____

Project Type Interim SWM Concept Plan

TO: ☒ Subdivision Review Planner
☒ Environmental Review
☒ Landscape Review
☒ Engineering Review JFB
☒ Utilities Review
☒ Traffic Review JAE

☒ House Numbers/Street Names
☒ Soil Conservation District
☒ Health Department
☒ State Highway Admin

☒ Board of Education
☒ Fire Prevention Bureau
☒ Recreation and Parks

☒ Dept. of Natural Resources
☒ MD Dept. of Environment
☒ Critical Area Commission

Baltimore Gas & Electric Co.

Verizon

Library

MD State Aviation Admin
☒ Archeological/Historical

Forester

Agricultural Review
☒ Long Range Planning

Long Range Planning-Master W/S Plan

Long Range Transportation

Site Plan Review - D. Kane

DPW-Traffic

DPW-Utilities - L. Layton

BGE Forestry & ROW

Public Information File

Other:

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Cove Marina

FORMERLY _____

SUBDIVISION NO S 10-015

PROJECT NO P 10-0044 00 NA

MINOR SUBDIVISION NO MS _____

SITE DEV PLAN NO C _____

GRADING PERMIT NO G _____

BUILDING PERMIT NO B _____

Tax Map 18 Block 14 Parcel 73

200 Scale 410 600 Scale 18 1000 Scale 8

Please review the plans of the above-mentioned project for SWM Concept Plan approval.

Your comments are requested by noon on the business day of April 9, 2010

27

71-06

RECEIVED

FEB 26 2009

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

OLD REGS: ☐
NEW REGS: ☒

DATE TRANSMITTED: 2/25/09

SUBDIVISION/SITE DEVELOPMENT PLAN TRANSMITTAL

Process Type Resubmittal Project Type Site Plan

- TO:
- ☒ Subdivision Review Planner *DNG
 - ☒ Engineering Review **CYO
 - ☒ Traffic Review JAE
 - ☒ Utilities Review **CYO
 - ☒ House Numbers/Street Names
 - ☒ Environmental Review *DNG
 - ☒ Soil Conservation District
 - ☒ Health Department
 - ☐ State Highway Admin.
 - ☐ Board of Education
 - ☐ Fire Prevention Bureau
 - ☐ Recreation and Parks
 - ☐ Dept. of Natural Resources
 - ☒ MD Dept. of Environment
 - ☒ Army Corps of Engineers
 - ☒ Critical Area Commission

DWG

- ☐ Baltimore Gas & Electric Co.
- ☐ Verizon
- ☐ PAC/Environmental Programs
- ☐ Library
- ☐ MD State Aviation Admin.
- ☐ Law Office
- ☐ Archeological/Historical
- ☒ Landscape *DNG
- ☐ Forester
- ☐ Agricultural Review
- ☐ Long Range Planning
- ☐ Long Range Planning-Master W/S Plan
- ☐ Long Range Transportation
- ☐ Site Plan Review
- ☐ DPW-Traffic
- ☐ Public Information File
- ☐ Other

RECEIVED
FEB 25 2009

PLANNING AND ZONING
DEVELOPMENT

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Cove Marina

FORMERLY _____

SUBDIVISION NO S _____

PROJECT NO P _____

MINOR SUBDIVISION NO MS _____

SITE DEV PLAN NO C 05-006800NC

GRADING PERMIT NO G 02011840

BUILDING PERMIT NO B _____

Tax Map 18 Block 14 Parcel 73

200 Scale 410 600 Scale 18 1000 Scale 8

Please review the plans of the above-mentioned project for Site Plan approval.

Our comments are requested by noon on the business day of 3/24/09 3/9/09

71-06

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

OLD REGS: _____
 NEW REGS: _____

DATE TRANSMITTED 9/12/07

SUBDIVISION/SITE DEVELOPMENT PLAN TRANSMITTAL

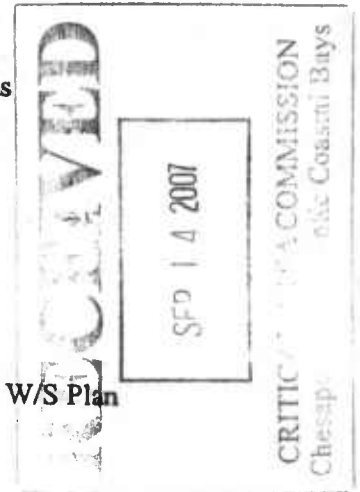
Process Type Resubmittal

Project Type Site Plan

TO: ☒ Subdivision Review Planner *DWG
☒ Engineering Review **CYO
 Traffic Review
☒ Utilities Review **CYO
 House Numbers/Street Names
☒ Environmental Review *DWG
 Soil Conservation District
☒ Health Department
 State Highway Administration
 Board of Education
 Fire Prevention Bureau
 Recreation and Parks
 Dept. of Natural Resources
 MD. Dept. of Environment
 Army Corps of Engineers
☒ Critical Area Commission

DWG

☐ Baltimore Gas & Electric Co.
☐ Verizon
☐ PAC/Environmental Programs
☐ Library
☐ MD State Aviation Admin.
☐ Law Office
☐ Archeological/Historical
☐ Landscape
☐ Forester
☐ Agricultural Review
☐ Long Range Planning
☐ Long Range Planning-Master W/S Plan
☐ Long Range Transportation
☐ Site Plan Review
☐ DPW-Traffic
☐ Public Information File
☐ Other



FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Cove Marina

FORMERLY: _____

SUBDIVISION NO.

S

PROJECT NO.

P

MINOR SUBDIVISION NO.

MS

SITE DEV PLAN NO

C

GRADING PERMIT NO.

G

BUILDING PERMIT NO.

B

Tax Map

18

Block

14

Parcel

73

200 Scale

Y10

600 Scale

18

1000 Scale

8

Please review the plans of the above-mentioned project for Site Plan approval.
 Your comments are requested by noon on the business day of 10-10-07

71-06

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

OLD REGS: _____
NEW REGS: _____

DATE TRANSMITTED

6/27/07

SUBDIVISION/SITE DEVELOPMENT PLAN TRANSMITTAL

Process Type Resubmittal

Project Type Site Plan

TO: ☒ Subdivision Review Planner *DWG
☐ Engineering Review
☐ Traffic Review
☐ Utilities Review
☐ House Numbers/Street Names
☒ Environmental Review *DWG
☐ Soil Conservation District
☐ Health Department
☐ State Highway Administration
☐ Board of Education
☐ Fire Prevention Bureau
☐ Recreation and Parks
☐ Dept. of Natural Resources
☐ MD. Dept. of Environment
☐ Army Corps of Engineers
☒ Critical Area Commission

DWG

☐ Baltimore Gas & Electric Co.
☐ Verizon
☐ PAC/Environmental Programs
☐ Library
☐ MD State Aviation Admin
☐ Law Office
☐ Archeological/Historical
☐ Landscape
☐ Forester
☐ Agricultural Review
☐ Long Range Planning
☐ Long Range Planning-Master W/S Plat
☐ Long Range Transportation
☐ Site Plan Review
☐ DPW-Traffic
☐ Public Information File
☐ Other

RECEIVED

JUN 27 2007

PLANNING AND ZONING
DEVELOPMENT

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Core Marina

FORMERLY: _____

CUB 0068

SUBDIVISION NO. _____

S

PROJECT NO. _____

P

MINOR SUBDIVISION NO. _____

MS

SITE DEV PLAN NO. _____

C

050068

GRADING PERMIT NO. _____

G

BUILDING PERMIT NO. _____

B

Tax Map

18

Block

14

Parcel

73

200 Scale

410

600 Scale

18

1000 Scale

8

JUL 18 2007

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

Please review the plans of the above-mentioned project for Site Plan approval.
Your comments are requested by noon on the business day of 7/24/07.

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

7/1-06

OLD REGS: _____
NEW REGS: _____

DATE TRANSMITTED

3-28-07

SUBDIVISION/SITE DEVELOPMENT PLAN TRANSMITTAL

Process Type Resubmittal

Project Type Site Plan

TO: ☒ Subdivision Review Planner DWG
☐ Engineering Review
DWG ☒ Traffic Review JAE
☐ Utilities Review
☐ House Numbers/Street Names
☒ Environmental Review DWG
☐ Soil Conservation District
☒ Health Department
☐ State Highway Administration
☐ Board of Education
☐ Fire Prevention Bureau
☐ Recreation and Parks
☐ Dept. of Natural Resources
☐ MD. Dept. of Environment
☐ Army Corps of Engineers
☒ Critical Area Commission

☐ Baltimore Gas & Electric Co.
☐ Verizon
☐ PAC/Environmental Programs
☐ Library
☐ MD State Aviation Admin.
☐ Law Office
☐ Archeological/Historical
☐ Landscape
☐ Forester
☐ Agricultural Review
☐ Long Range Planning
☐ Long Range Planning-Master W/S Plan
☐ Long Range Transportation
☐ Site Plan Review
☐ DPW-Traffic
☐ Public Information File
☐ Other

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME PLEASURE COVE MARINA

FORMERLY: _____

SUBDIVISION NO.

S

PROJECT NO.

P

MINOR SUBDIVISION NO.

MS

SITE DEV PLAN NO

C

GRADING PERMIT NO.

G

BUILDING PERMIT NO.

B

Tax Map 18

Block 14

Parcel 73

200 Scale 410

600 Scale 18

1000 Scale 8

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

Please review the plans of the above-mentioned project for Site plan approval.
Your comments are requested by noon on the business day of 4-24-07

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

71-06

OLD REGS: _____
NEW REGS: _____

DATE TRANSMITTED 12/28/06

SUBDIVISION/SITE DEVELOPMENT PLAN TRANSMITTAL

Process Type Resubmittal Project Type Site Plan

TO: ☒ Subdivision Review Planner *DWG
☒ Engineering Review **CYO
☒ Traffic Review JAE
☒ Utilities Review **CYO
☐ House Numbers/Street Names
☒ Environmental Review *DWG
☐ Soil Conservation District
☒ Health Department
☐ State Highway Administration
☐ Board of Education
☒ Fire Prevention Bureau
☐ Recreation and Parks
☐ Dept. of Natural Resources
☐ MD. Dept. of Environment
☐ Army Corps of Engineers
☒ Critical Area Commission

DWG

☐ Baltimore Gas & Electric Co.
☐ Verizon
☐ PAC/Environmental Programs
☐ Library
☐ MD State Aviation Admin
☐ Law Office
☐ Archeological/Historical
☒ Landscape JFH
☐ Forester
☐ Agricultural Review
☐ Long Range Planning
☐ Long Range Planning-Master
☐ Long Range Transportation
☐ Site Plan Review
☒ DPW-Traffic
☐ Public Information File
☐ Other

RECEIVED

DEC 28 2006

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Cove Marina

C05 0068

FORMERLY: _____

SUBDIVISION NO. S _____

PROJECT NO. P _____

MINOR SUBDIVISION NO. MS _____

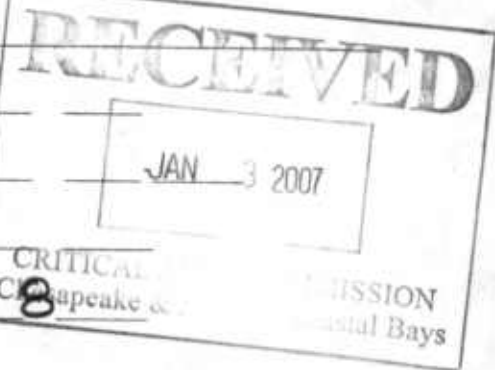
SITE DEV PLAN NO. C 05-0068

GRADING PERMIT NO. G _____

BUILDING PERMIT NO. B _____

Tax Map 18 Block 14 Parcel 73

200 Scale 410 600 Scale 18 1000 Scale 8



Please review the plans of the above-mentioned project for Site Plan approval
Your comments are requested by noon on the business day of 1-25-07

A471-06

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

OLD REGS: _____
NEW REGS: _____

DATE TRANSMITTED 6/14/06

SUBDIVISION TRANSMITTAL

Process Type ResubmittalProject Type Site Plan

TO: DWG
☒ Subdivision Review Planner *DWG
☒ Engineering Review C40**
☒ Traffic Review JAE
☒ Utilities Review C40**
☐ House Numbers/Street Names
☒ Environmental Review *DWG
☐ Soil Conservation District
☒ Health Department
☐ State Highway Administration
☐ Board of Education
☒ Fire Prevention Bureau
☐ Police-Communications 911
☐ Police-Prevention
☐ Recreation and Parks
☐ Dept. of Natural Resources
☐ MD. Dept. of Environment
☐ Army Corps of Engineers

Baltimore Gas & Electric Co.
 Verizon
 PAC/Environmental Programs
 Library
 MD State Aviation Admin.
 Law Office
 Archeological/Historical
☒ Landscape JFH
 Forester
 Agricultural Review
 Long Range Planning
 Long Range Planning-Master W/S Plan
 Long Range Transportation
 Drafting
 Site Plan Review
 DPW-Traffic
 Public Information File
 Other CETICAL AREA

RECEIVED

JUN 15 2006

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Cove Marina

FORMERLY: _____

SUBDIVISION NO. S _____

PROJECT NO. P _____

MINOR SUBDIVISION NO. MS _____

SITE DEV PLAN NO C 05-00068

GRADING PERMIT NO. G _____

BUILDING PERMIT NO. B _____

Tax Map 18 Block 14 Parcel 73200 Scale 410 600 Scale 18 1000 Scale 8RECEIVED
JUN 14
PLANNING AND ZONING
DEVELOPMENT

Please review the plans of the above-mentioned project for Site Plan approval
 comments are requested by noon on the business day of 7/19/06

ANNE ARUNDEL COUNTY
Annapolis, Maryland
Office of Planning and Zoning
Development Division

~~AA 301-04~~
AA 71-04

OLD REGS: _____
NEW REGS: _____

DATE TRANSMITTED 3/22/06

SUBDIVISION TRANSMITTAL

Process Type Resubmittal Project Type Site Plan

TO: DWG

<input checked="" type="checkbox"/> Subdivision Review Planner <u>DWG*</u>	<input type="checkbox"/> Baltimore Gas & Electric Co.
<input checked="" type="checkbox"/> Engineering Review <u>DCO</u>	<input type="checkbox"/> Verizon
<input checked="" type="checkbox"/> Traffic Review <u>JAE</u>	<input type="checkbox"/> PAC/Environmental Programs
<input checked="" type="checkbox"/> Utilities Review <u>DCO</u>	<input type="checkbox"/> Library
<input type="checkbox"/> House Numbers/Street Names	<input type="checkbox"/> MD State Aviation Admin.
<input checked="" type="checkbox"/> Environmental Review <u>DWG*</u>	<input type="checkbox"/> Law Office
<input type="checkbox"/> Soil Conservation District	<input type="checkbox"/> Archeological/Historical
<input type="checkbox"/> Health Department	<input checked="" type="checkbox"/> Landscape <u>JFH</u> <u>05-008</u>
<input type="checkbox"/> State Highway Administration	<input type="checkbox"/> Forester
<input type="checkbox"/> Board of Education	<input type="checkbox"/> Agricultural Review
<input checked="" type="checkbox"/> Fire Prevention Bureau	<input type="checkbox"/> Long Range Planning
<input type="checkbox"/> Police-Communications 911	<input type="checkbox"/> Long Range Planning-Master W/S Plan
<input type="checkbox"/> Police-Prevention	<input type="checkbox"/> Long Range Transportation
<input type="checkbox"/> Recreation and Parks	<input type="checkbox"/> Drafting
<input type="checkbox"/> Dept. of Natural Resources	<input type="checkbox"/> Site Plan Review
<input type="checkbox"/> MD. Dept. of Environment	<input type="checkbox"/> DPW-Traffic
<input type="checkbox"/> Army Corps of Engineers	<input type="checkbox"/> Public Information File
	<input checked="" type="checkbox"/> Other <u>CAC (L. Hoerger)</u>

FROM: Office of Planning and Zoning/Development Division

SUBJECT: NAME Pleasure Cove Marina

FORMERLY: _____

SUBDIVISION NO. S _____

PROJECT NO. P _____

MINOR SUBDIVISION NO. MS _____

SITE DEV PLAN NO. C 05-0068

GRADING PERMIT NO. G 02011840

BUILDING PERMIT NO. B _____

Tax Map 18 Block 14 Parcel 73

200 Scale Y10 600 Scale 18 1000 Scale 8

Please review the plans of the above-mentioned project for Site Plan approval.

Your comments are requested by noon on the business day of 4/15/06 OR SOONER

Shared submittal: NANCY new subdivision transmittal 5-1-05.doc

PLANNING AND ZONING
DEVELOPMENT
MAY 23 2006

RECEIVED

RECEIVED

MAR 27 2006

CRITICAL AREA COMMISSION

AA34-04

C 05-0068

Anne Arundel County
Annapolis, MD
Planning & Zoning
Development Division

RECEIVED

DEC 21 2005

PERMIT APPLICATION CENTER

Team 3rd Unit

Date Transmitted 12/21/05

810

Process Type: ☒ Critical Area
☐ Forest Stand Delineation
☐ Forest Conservation
☐ Bog Protection

To: ☒ Critical Area Commission
☒ Department Natural Resources
☒ B G & E Forestry & Right-of-Way Management
☒ Environmental Review Planner
☒ Subdivision File

From: Office of Planning & Zoning /Development Division

Subject: Name Pleasure Cove Marina

Formerly _____

Subdivision # _____

Project # _____

Site Plan Review # C05-0068

Tax Map 18 Block 18/14 Parcel 73

200 Scale 410 600 Scale 14 1000 Scale 08

Please review the plans of the above mentioned project.

Your comments are requested by 1/20/06

RECEIVED

DEC 27 2005

CRITICAL AREA COMMISSION

M 18 P 73

Letter to Dan
Due by _____

dist. area on plan, 7.57 ac on 10% 21.48 (total prop)

Subdivision Review Checklist

Project Name and # Pleasure Cove C-05-006800NC & 02011840

Area of CA in site 21.48 AC (or) 935,910 s.f.

- 2 new want. Bldgs.

- 74250 sf
- 47054 sf

RCA _____ AC (or) _____ s.f.
LDA _____ AC (or) _____ s.f.
IDA _____ AC (or) _____ s.f.

How much LDA + RCA?

Impervious Calculations

983865 sf
or 22.59 ac

Site area = 21.48

LDA/RCA no! there's no ISA

	Acres (or)	Square Feet	% site in CA
Existing impervious in CA		305075	33%
Proposed impervious removed in CA			
Proposed new impervious in CA		7900 (new Parkliff Rd)	
Total resulting impervious in CA		284,352	

unless 10% is settlement or something?

Forest Calculations

	Acres (or)	Square feet	% site in CA
Existing forested in CA	7.56	329524	
Proposed clearing in CA	0.33	14137	
Remaining forested in CA			
Required replanting in CA			
Proposed replanting onsite	1.63	70908	
Proposed replanting via payment			
Total proposed forested in CA			

prop. 5.29 ac FCE 7.10 FCE

Density Calculations

Area of RCA in CA _____ AC / 20 acres = _____ dwelling units allowed

Existing dwelling units in RCA _____

Proposed dwelling units in RCA _____

- check 10% calc

does D match site area?

Other Comments

Hydric soils

Buffer disturbance

WHS letter in file with no concerns, HPA concerns?

note on plat about forest in cons. ease.

sep. numbers for site in CA and outside

reforestation on-site? In Buffer? If not, reason?

cover = AA Code 17-8-602 (f)

shows limits of clearing? Location of reforestation?

All new disturbance associated with the creation of new lots should not require variances to the County's Critical Area Program requirements.

Prop. Imperv. MB? 263,576 (down from 269,490 sf)

where removing, + what is MB? BMA?

we're going w/ BMA not expanded right?

- 25' setback?

where are they putting it?

make sure MDF permits match proposed work

ACOE 1st said dredging was unauthorized conditions for BFF permit of dredging include reconfig. of piers + shoreline mit.

(check to make sure mtg all, + Buffer mit provided for any impacts - note 13 concern - says FCE by parcel #1 of 10 - note 14 - BMA mit, in parcels 1-5 + some stuff about regen in par. 1 I don't understand

note 15, par. 6-10, for compliance

- what is total vegetated area? gross? 2.57 ac? (site anal on cover)

- Buffer expansion is wrong. Doesn't have at least 50' ft from slopes + isn't even 100' in some places (where ex. house)

- fill grade + plant marsh along shoreline 100 ft. MDE plans show no piers TBR (no excavation in fork lift well but is so.)

\$6 25' new wt cover = 530 sf
2.1 = 106036
10498
14588
25044 sf
Buffer planting req.
(or really, 15648 sf)

✓ Stormwater in the Buffer? OK if not 25-foot

✓ What was violation E 2008-0357?

✓ We need Buffer mitigation for the excavated forklift well, even if addressing through corps + MDE, still a CA violation too.
3:1?

✓ need 1:1 for placement of ^{Buffer imp. from} sand from tidal wetland creation on parcel 211 + piece of Pleasure Cove

✓ Boulders in Buffer?

* ✓ What is unlabeled dist. seaward of forklift?

Series of tanks + pipes, leading to what looks like bio-retention?

✓ Large amount of grading + clearing in Buffer

* ✓ What's prop'd in D why knocking out big patch of trees? west of sheet bubble to right of access walk, existing tree

* ✓ Offsite planting? For clearing that was offsite? or just planting there?
what was the clearing?

✓ unclear why D shaped why it is on p 211

shd. 8 of 25 w/in p. 211

✓ why FC P #6 shown as both prop. FC + ~~to be~~ cleared?

SW corner of p. 211, will replant after grading?

- ~~where's the proposed forklift road? forthcoming w/ variance app?~~
note on plan coversheet that says 7400 SF for forklift rd on p. 211 (but not showing lotary area include access on plans)

- if this plan is making up for violations (I'm assuming some of which included already completed unapproved clearing) should we be reviewing their currently allowed clearing on 30% ^{of ex.} threshold limit? shouldn't they have to give us pre-ex. forested, amount cleared, + then determine ~~if~~ if allowed any additional clearing?

✓ Still not showing the 25' setback line

- they need to provide an explanation to correspond w/ CA Buffer ... w/ sheet on plans
why 23000 SF req'd w/in 25'? as opposed to 100'? 25' Buffer yard doesn't count toward mitigation credit so how do they have a req' in 25'? Oh, they mean 9201 SF = 23000 SF of 25' Buffer, w/ 6559 SF planted, + 7065 SF prop.
why distinguishing 25' Imperv. from 100' Imperv. All same req.

* ~~What~~ about prop clearing + grading w/in 100' Buffer? how counting for mitigation?
actively providing above + beyond by providing prop. (any other plans in 2009-2010)

Pleasure Cove

SDP 17 of 25

area CA violation Part of Area B 0.07 ac 3241 sf, plantings banded
under G02011840

- if in 25ft Buffer yard, shouldn't get credit ^{for meeting mitigation for some other} (unless already there?) ^{violation} mit.

Rest of the ... Shoreline Buffer 0.5 ac, 21,867 sf plantings banded
under G02011840 forestation agreement?

- Are they counting this toward mitigation req. for this project?
what forestation agreement?

✓ CA violation Areas A-1 + C-1 compliance case E-2008-0357

0.24 ac, what is E-2008-0357? What were #s of impact area +
resulting mit req?

Buffer mit. Area #2, 4 trees = 11,800 sf. + emergent forest

+ 2 other violation areas as emergent but banded? how do you
band emergent (naturally regenerating?) plantings?

✱ Which planting area toward BMA planting reqs for this
project? ... what about regular LPA + RCA clearing mit?

✓ - now are they going to put road through P211 + prop. plantings
if prop easements?

- Make note that all species should be from Bay book,
+ planting credit rates. Ask Kerrie re: regeneration

FTI 4/24 Used Posman, NDE, 410 537 3559

- Bob Winchester 410 562 7152 cell

- Mark Owens 301 658 4401 solar panels in CH

- John Beach 410 222 7763, code support for clearing violations

Letter to _____

Due by _____

At 71-06

Subdivision Review ChecklistProject Name and # Pleasure CoveArea of CA in site 21.48 AC (or) 935,920 s.f.? RCA 12.03 AC (or) 524,105 s.f.? LDA 9.45 AC (or) 411,815 s.f.

IDA _____ AC (or) _____ s.f.

in the BMA (add to intro)

Impervious Calculations

	Acres	(or)	Square Feet	% site in CA
Existing impervious in CA			301423	32%
Proposed impervious removed in CA				
Proposed new impervious in CA			29%	17%
Total resulting impervious in CA			280700 / 3652	30%

6.53 ac
284352 sfForest Calculations

	Acres	(or)	Square feet	% site in CA
Existing forested in CA			329524	
Proposed clearing in CA			no new clearing	14 347
Remaining forested in CA				
Required replanting in CA				
Proposed replanting onsite				
Proposed replanting via payment				
Total proposed forested in CA				

was total of
violations
now being
remedied230428
or 5.28 ac
pavementDensity Calculations

Area of RCA in CA _____ AC / 20 acres = _____

Existing dwelling units in RCA _____

Proposed dwelling units in RCA _____

we going to care
on variance for slopes
for lift road? to. told them
they don't need one- we ok w/ check dam as an
outfall in 25' setback to replace
an existing degraded rock dam apron?

- check Buffer expansion

- check 25' setback

- try to see if can figure out where
15648 BMA plantings are provided
on sheets 22 + 23- 20723 sf decrease in lot cov. b/c
22, 362 sf parking removed north of
new road w/ landscaping areasvague about highest, says balance
care they landscaping areas that
were lot coverage? planting doesn't
make something not lot coverage. FOther Comments

___ Hydric soils

___ Buffer disturbance

___ WHS letter in file with no concerns, HPA concerns?

___ note on plat about forest in cons. ease.

___ sep. numbers for site in CA and outside

___ reforestation on-site? In Buffer? If not, reason?

AA Code 17-8-602 (f)

___ shows limits of clearing? Location of reforestation?

___ All new disturbance associated with the creation of new lots should not require
variances to the County's Critical Area Program requirements.

FCP #7 is reforestation for previous clearing on that parcel (offsite)

- check notes on 1 of 25 + 16 of 25 for answers to BMA
dist. not from imperv. ~25' = 6034 sf
-100' = 23095 sfplanting sizes ok'd in letter Oct 8, 2008 by
Betty Dixon?mitigation
ratio for
excavation
at the Buf. 2:1
they are prop. 2:1
for 15 24 sfsays Buffer
mit. already
provided for
all the MDE
approved activities
well, if so, show
in a chart.



ANNE
ARUNDEL
COUNTY

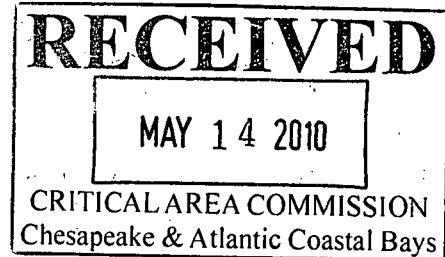
M A R Y L A N D
County Executive John R. Leopold

2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401
OFFICE OF PLANNING AND ZONING

May 12, 2010

Danny Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Suite 201
Glen Burnie, MD 21061

Re: Pleasure Cove Marina - Interim SWM Concept Plan
S2010-015, P2010-0044-00NA
Tax Map 18, Block 14, Parcel 73



Dear Mr. Boyd:

On December 1, 2009, the Office of Planning and Zoning instituted the "Interim SWM Concept Plan" process. This was done to provide applicants a vehicle for beginning the three step process required by the new State SWM regulations which went into effect on May 4, 2010. The comments contained in this review letter are intended to provide the applicant with preliminary guidance on whether the proposed site plan will comply with the State regulations, and what steps the applicant has left in the review process. This letter is not considered an approval of the Concept Plan or Preliminary Plan with respect to any legislation which contains grandfathering provisions or exemptions from the new state regulations. Clarification on exemptions and grandfathering for the new State SWM Regulations can be found on the County website at www.aaounty.org.

The Interim SWM Concept Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

I. Comments:

A.	OPZ/Planning, Environmental, Landscape	Comments dated April 23, 2010
B.	OPZ/Engineering, Utilities	Comments dated April 23, 2010
C.	OPZ/Traffic	Comments dated April 23, 2010
D.	OPZ/Long Range Planning	Comments dated March 15, 2010
E.	OPZ/Cultural Resources	Comments dated April 9, 2010
F.	Recreation and Parks	Comments dated April 8, 2010
G.	Soil Conservation District	Comments dated March 15, 2010
H.	Fire Marshal Division	Comments dated April 8, 2010
I.	State Highway Administration	Comments dated March 17, 2010
J.	Critical Area Commission	Comments dated April 27, 2010

II. Decision:

The above noted comments shall be addressed with the Site Development Plan application.

The Site Development Plan application must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in Section I above and any other supplemental information necessary for review. The Site Development Plan submission must include review packages for all required agencies and is not limited to those agencies listed above. **Please note that if the Site Development Plan submittal is not made within six months of the date of this letter, or by November 12, 2010, a revised and/or updated Interim SWM Concept Plan may be required to be submitted for review.**

If you have any questions regarding this project, please call Dan Beverungen at 410-222-7960 or e-mail to pzbeve68@aacounty.org.

Sincerely,



Larry R. Tom
Planning and Zoning Officer

Cc: Chris Soldano, Assistant Planning and Zoning Officer
Kelly Krinetz, Critical Area Team Administrator, OPZ
Patti Turner, OPZ
Critical Area Team: DMB, JFB, JAE
Lt. Francis Fennell, Fire Marshal
Rich Zeller, State Highway Admin.
Dawn Thomas, Recreation and Parks
Tom Gruver, Health Department
Robert D. Miller, A.A. Soil Cons District
OPZ Cultural Resources: Darian Schwab, Jane Cox, Lynn Miller
Critical Area Commission
Judy Motta, PAC



ANNE
ARUNDEL
COUNTY

M A R Y L A N D

County Executive John R. Leopold

2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401
OFFICE OF PLANNING AND ZONING

May 11, 2009

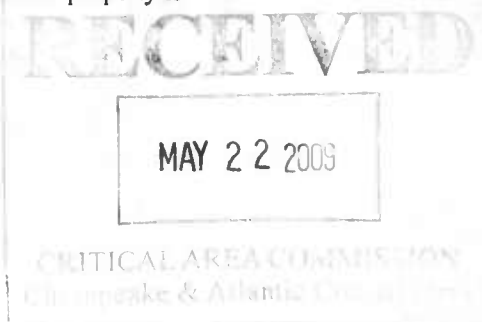
Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068-01
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

- | | | |
|----|--------------------------|-----------------------------------|
| A. | OPZ/Planning | Approved w/comment March 4, 2009 |
| B. | OPZ/Environmental | Approved w/comment March 4, 2009 |
| C. | OPZ/Engineering | Approved March 6, 2009 |
| D. | OPZ/Traffic | Approved March 6, 2009 |
| E. | OPZ/Landscape | Approved March 4, 2009 |
| F. | Health Department | Approved April 3, 2009 |
| G. | Critical Area Commission | Approved w/comment April 28, 2009 |
- I. The agency comments listed below (copies attached) must be addressed with grading and building permit submittals:
- | | | |
|----|--------------------------|-------------------------------|
| A. | OPZ/Planning | Comments dated March 4, 2009 |
| B. | OPZ/Environmental | Comments dated March 4, 2009 |
| C. | Critical Area Commission | Comments dated April 28, 2009 |
- II. Adequacies of Facilities issues for items A through E have been reviewed and are approved subject to any noted conditions.
- Fire Suppression: Adequacy of Facilities for Fire Suppression has been addressed. A fire flow test and report was not required. The Fire Marshal approved the project on August 10, 2008.
 - Roads: Adequacy of Facilities for Roads has been provided to address Article 17, section 5-401. Information describing the current and proposed number of boat spaces states that there will be a reduction in boat slips ("...and the elimination of 39 existing boat slips."). The TIS information was presented separately in a letter from a recognized traffic consultant.
 - Schools: Adequacy of Facilities for Schools is not required for this project. No new lots are proposed with this development.
 - Utilities: Adequacy of Facilities for Utilities is not applicable for this project. The property is served by private well and septic systems.



- E. Storm Drains: Adequacy of Facilities for Storm Drains has been addressed. The proposed storm drainage system adequately conveys stormwater runoff in a non-erosive manner to the site and tributary outfalls and to the Point of Investigation (POI) located at the tidal waters of Main Creek.

III. Decision:

Based upon the information submitted for the above referenced project, this office recommends Site Development Plan approval to the Department of Inspection and Permits as of the date of this letter. This recommendation is subject to items in Section I listed above being satisfactorily addressed prior to the issuance of the grading and building permit for the project.

IV. Resubmittal/Agreements/Expiration:

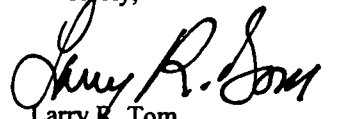
Each agency submittal package for the grading/building permit(s) shall include a point-by-point response letter addressing the items in Section I.

The developer/owner shall prepare, execute and deliver at one time all agreements, including a public works agreement, a forestation agreement, a deed to right-of-ways containing public road improvements constructed by the developer, and all other deeds, easements, rights-of-way, agreements and other documents required by Article 17, of the Anne Arundel County Code.

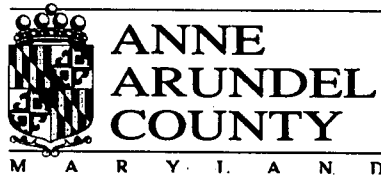
Please be advised that the Adequacy of Facilities approval is valid for six months from the date of this letter (November 11, 2009) per Article 17-5-205 and the Site Development Plan expires one year from the date of this letter (May 11, 2010) per Article 17-4-206 unless the developer/owner obtains the appropriate permit(s) or in the case where the Site Development Plan is not associated with a permit, establishes the use within one year.

If you have any questions regarding this project, please call Dan Gerczak of this office at 410-222-7960.

Sincerely,


Larry R. Tom
Planning and Zoning Officer

cc: Betty Dixon, Director, Inspections and Permits
Christopher Soldano, Asst. P&Z Officer
Kelly Krinetz, Critical Area Administrator
John Peacock, Jim Johnson, Inspections and Permits
OPZ CA Team: DWG, CYO, JAE
Judy Motta, Dan Kane, PAC
J. Thomas Gruver, Health Department
Amber Widemayer, Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
Francis X. Fennell, Fire Marshal Division
Gerald Herson, 1737 Poplar Ridge Road, Pasadena, MD 21122
Patti Turner, OPZ/Administration
Site Plan File/Diary
J:\Shared\subdiv\Dan Gerczak\C2005-0068 Pleasure Cove approved #2



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: March 4, 2009

TO: File

FROM: Environmental/Planning, OPZ, Mail Stop 6305, Dan Gerczak

SUBJECT: Pleasure Cove Marina C 2005-0068, G02011840

The subject Site Development Plan submittal has been reviewed from a Planning and Zoning/Environmental/Landscaping standpoint and the following comments were generated.

NOTE:

ALL OUTSTANDING CRITICAL AREA COMMISSION ISSUES MUST BE ADDRESSED AT GRADING PERMIT REVIEW. ALL STATE AND ARMY CORP APPROVALS MUST NOT EXPIRE PRIOR TO PERMIT APPROVAL.

Violation:

- 1) The violation reforestation planting and fee-in-lieu must be processed prior to permit approval. The violation mitigation planting plan (22,386 sq. ft.) as reviewed on the meeting held February 10, 2009 is acceptable.
- 2) The violation areas as calculated by the grading office (Betty Dixon letter dated October 20, 2008) are- (1) 22,386 sq. ft. that must be replanted and bonded at \$40,295 and (2), 51,603 sq. ft that must be paid as a fee (\$92,885). An inspection fee of \$2,820.65 will also be required.
- 3) Please change the SDP critical area mitigation calculations and reforestation on page 25 to match these numbers.

Environmental:

- 1) Based on the installation of the forklift as a water dependent use, a variance will not be required for the slope disturbance. The appropriate State and Corp approvals must be obtained. If the well cannot be installed in this location, mitigation will be required to restore the area.
- 2) The proposed development requires reforestation mitigation for 14,347 sq. ft. for the proposed woodland clearing. This must be paid as a fee-in-lieu of \$17,216.40.
- 3) Please note that the bond amount already collected for the original SDP approval was \$35,437.00 for 29,531 sq. ft. of planting to meet the 25 foot planted buffer requirement of Article 17-8-703(g) and (h).

Pleasure Cove Marina comments

Page 2

- 4) Please remove the paved access walks in the easement and reestablish the correct boundaries or a revision to the existing easement will be required.

Planning/Zoning:

- 1) Please address the parking/trailer spaces requirements per ramp. The parking calculations must clearly address parking space requirements of Article 18-3-104 on the title page. Where are the five trailer spaces per each ramp?
- 2) Please address Article 18-7-106 (MB) bulk regulations on the plan. A field visit noted that the existing dry storage and racks exceeded the 10 ft height limit. A variance is required for exceeding height limitations. A permit was not obtained for these racks. Provide the coverage of structures, parking and dry storage calculation on the plan.
- 3) On the title sheet, please provide the quantity of existing and proposed dry storage racks spaces.
- 4) The proposed covered structures are for the maintenance and repair of watercraft only. Any storage of watercraft, (covered and dry) is a conditional use and must meet the requirements of Article 18-10-134.

Landscape: Approved

- 1) The proposed development is in compliance with the Landscape Manual.

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

April 28, 2009

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C-05-0068-00NC, G 02011840

Dear Ms. Krinetz:

Thank you for forwarding the above-referenced site plan for review and comment. The applicant proposes to construct two new maintenance buildings and an access road to the proposed forklift at the shoreline on the 22.59 acre property with 21.48 acres in the Critical Area. The property is designated as a Limited Development Area (LDA) and a Resource Conservation Area (RCA) and is currently developed as a commercial marina. It is unclear how much of the property is LDA and how much is RCA. The property is currently developed in excess of the 15% LDA lot coverage limit and the 15% RCA lot coverage limit but because it appears that this development occurred prior to the implementation of the County's Critical Area program, and because the current project proposes to decrease the total lot coverage, this office does not find the proposed project objectionable with reference to the property's nonconformance with the lot coverage limits. I have reviewed the submitted site plans and outlined this office's comments below:

- 1) Please have the applicant provide the acreage that is within the LDA and within the RCA on the property. We note that the lot coverage calculations should be corrected to reflect the lot coverage that is within the LDA as a separate number from the lot coverage that is within the RCA. The RCA and LDA land designations represent distinct characteristics and the statutory limits for lot coverage do not provide for a transfer of allowed lot coverage from one Critical Area designation to another.
- 2) We note that the applicant has provided 10% pollutant reduction calculations with the site plan which is typically only done when development activities are proposed on properties designated as Intensely Developed Areas (IDA). However, we note that in this circumstance, because the current footprint of development far exceeds the 15% LDA and 15% RCA lot coverage limit, the applicant's proposal to meet the 10% pollutant removal requirement in

conjunction with this project is a logical and effective method of providing treatment for the excess stormwater runoff created by the excess lot coverage on the property.

- 3) Please have the applicant confirm that the footprint of disturbance for the proposed bioretention facility that is located within the 100-foot Buffer will be located outside of the 25-foot BMA setback. Also, please have the applicant provide information about the purpose of the proposed stone check dam that is shown crossing through the 100-foot Buffer and 25-foot BMA setback. Stormwater treatment should not create disturbances within the 25-foot BMA setback.
- 4) The Buffer has not been correctly expanded to include contiguous slopes 15% or greater and 50 feet from the top of the slopes as required by the County's Code. In some locations, the Buffer is not even 100 feet wide. For instance, in the location of the existing house on the property and on Parcel 211, it appears that the Buffer has been drawn in front of the houses such that the Buffer is less than 100 feet. Please have the applicant correctly map the 100-foot Buffer and expanded Buffer as required by the County's Code § 18-13-104.
- 5) Please have the applicant clearly map the 25-foot BMA setback line on the plans.
- 6) We note that the applicant's chart on the plans indicates that 15,648 square feet of mitigation plantings will be provided for the impacts within the BMA and for establishment of a 25-foot Bufferyard. However, it is unclear where this amount of plantings has been provided within the planting plan, as no area is specifically shown as corresponding with this 15,648 square foot amount. Please have the applicant provide a chart or some information that breaks down the mitigation requirements that are being addressed within each planting area. Also, please provide within this chart a brief description of the previous violations that are to be addressed within the identified planting areas, including the acreage of impact that was created by the violation.
- 7) Mitigation plantings must be provided at a ratio of 1:1 for the total footprint of disturbance that is above mean high water and in the 100-foot Buffer from grading, clearing or the placement of sand or stone for shoreline erosion control structures. If any such disturbance is required in the Buffer for access to construct the shoreline erosion control structure, mitigation must be provided at a 2:1 ratio. Please provide information about the area of Buffer impacts if applicable for each of the proposed activities within the MDSPGP-3 #05-1010(R) permit listed below as well as information showing how each Buffer disturbance will be addressed:
 - 29-foot long by 4-foot wide timber walkway
 - 81-foot long by 4-foot long timber walkway
 - 74-foot long retaining wall
 - 27-foot long retaining wall
 - 210-foot revetment where existing riprap is failing which will fill 91 square feet of existing marsh
 - 80 linear feet of bulkhead at hillside and travel lift area where approved to dredge and reconstruct piers and slips
 - Creation of 1,600 square feet of marsh in Perry's Cove as mitigation for impacts to marsh in marina basin

- Excavate dredge 479 square foot area to the six-foot depth, (which appears may be in the 100-foot Buffer)
 - Excavate dredge 553 square foot area to the six-foot depth in the proposed fork lift well area
- 8) Please confirm that none of the proposed Buffer disturbances covered by MDSPGP-3 #05-1010(R) as listed above required the standard permit that was the subject of the March 14, 2008 Army Corps of Engineers (USACE) letter. This letter stated that the 110,500 square feet of proposed maintenance dredging in connection with the State MDSPGP-3 permit #05-1010(R) is not covered under that permit and instead must be covered under a USACE standard permit. If such a permit was required for any Buffer disturbances, please provide the standard permit. Also, please have the applicant clarify how much, if any, of the proposed marina reconfiguration has been completed, since the letter refers to this reconfiguration as being "underway." In particular, please have the applicant clarify whether the excavation dredging areas listed in comment #7 are existing or proposed.
- 9) The applicant's lot coverage calculations on the plans indicate that the total proposed lot coverage, 284,352 square feet, is a 20,723 square foot decrease from the existing 305,075 square feet, and that this figure takes account of the fact that there is a new 7,900 square foot road being constructed. Please have the applicant quantify the area of structures or surfaces that are being removed that will create this lot coverage reduction.
- 10) Please have the applicant clarify what is meant by the calculation labeled "total vegetated area =2.57 acres," under the Site Analysis table on the cover sheet of the plans.
- 11) It is this office's understanding that the new 7,900 square foot road that is noted on the cover sheet of the plans, will be located in the area that is shown as an L-shaped gray shaded area on sheet 8 of 25. If this is correct, please have the applicant show the proposed road on future plans. Please have the applicant confirm that the total area of disturbance for the new footprint of the road has been incorporated into the BMA mitigation calculations at the 2:1 ratio for the portion of the disturbance that is within the BMA. Also, it appears that the proposed disturbance for the road within the BMA is shown within slopes 15% and greater, and therefore, a variance must be obtained to § 17-8-201 of the County's Code for the proposed steep slope disturbance. For the portion of the disturbance that is within Parcel 211, within the 100-foot Buffer and outside of the BMA, please quantify the area of 100-foot Buffer disturbance from the proposed clearing, grading and lot coverage for what has been determined to be a water dependent road. This area of disturbance must be mitigated at a 2:1 ratio. Please have the applicant identify how this mitigation will be addressed in the requested mitigation chart in comment #6 of this letter.
- 12) There is a note next to forest conservation parcel # 7 on sheet 8 of 25 that states that this area provides reforestation for offsite clearing. Please have the applicant provide information about the offsite clearing this conservation parcel will address.
- 13) It is unclear why the proposed limit of disturbance as shown on sheet 8 of 25 has been drawn to include certain areas. In particular, it does not appear that anything is proposed on the western

side of the sheet, where the limit of disturbance has been drawn to include a cluster of trees, and on the eastern edge of the sheet, where the line extends into a skinny loop into the middle of Parcel 211 with no apparent proposed activity shown within. Please have the applicant refine the proposed limits of disturbance, or provide further explanation as to why they were drawn as proposed.

- 14) Please have the applicant quantify the total area of proposed disturbance within the BMA 25-foot setback and within the rest of the BMA from grading and clearing, minus the area of new lot coverage.
- 15) It is unclear from the provided information if past violations on the property involved clearing of existing forested areas. At this time, the plans indicate that an additional 14,347 square feet of the existing 329,524 square feet of forested area will be cleared. Please have the applicant clarify if this number includes all proposed clearing within the limits of disturbance, including the proposed clearing in the BMA and in the Buffer outside of the BMA for the proposed forklift road. If so, please have the applicant provide a breakdown of this proposed clearing so that it is clear how much clearing is proposed outside of the 100-foot Buffer and BMA. This area of clearing that has not been addressed through BMA mitigation requirements must be addressed through reforestation mitigation requirements at a 1:1 ratio. If greater than 20% of the total forested area on the property has been cleared as a result of the past violations and the currently proposed clearing, then mitigation at a 1.5:1 ratio may be required.
- 16) It appears that many of the species in the proposed Critical Area Buffer Plant Schedule are not native species. We recommend that the applicant replace the non-native species with native species that can be found in the U.S. Fish and Wildlife Service's Native Plants for Wildlife Habitat and Conservation Landscaping: Chesapeake Bay Watershed document, available at <http://www.nps.gov/plants/pubs/chesapeake/>. Also, it is unclear from the size descriptions in the schedule if proposed plant sizes meet the Commissions planting credit guidelines. This office generally recognizes 100 square feet of planting credit per 2-inch caliper tree and 50 square feet of planting credit per seedling or shrub in a 3-5 gallon container. If a large tree is planted in a cluster with either two smaller trees or three shrubs, this office will recognize 400 square feet of planting credit for each cluster. Please have the applicant make any necessary changes to the planting plan in order to meet these planting credit guidelines.

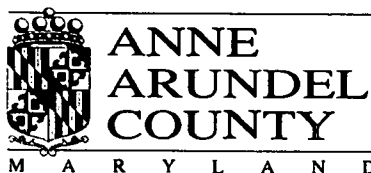
Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,



Amber Widmayer
Natural Resources Planner

cc: AA 71-06



Office of Planning and Zoning
Development Division

INTER-OFFICE CORRESPONDENCE

DATE: March 6, 2009
TO: Dan Gerczak, Planner
FROM: Claudia O'Keeffe, Engineer
SUBJECT: Pleasure Cove Marina, C05-0068, G02011840

Engineering and Utility Review

The above-referenced project has been reviewed for Public Works and Utility issues and the following comments apply:

Adequacy of public facilities is being addressed as follows:

Fire Suppression:

The site will be served by private well and septic systems. A fire suppression tank is required by the Fire Marshal's Office. The final decision regarding adequacy of facilities for fire suppression is being deferred to the Office of the Fire Marshal.

Utilities:

The site will be served by private well and/or septic systems. Adequacy of facilities for utilities will be deferred to the Anne Arundel County Department of Health.

Storm Drains:

Adequacy of facilities for storm drainage has been adequately addressed.

The proposed storm drainage system adequately conveys storm water runoff in a non-erosive manner to the site and tributary outfalls and to the Point of Investigation (POI) located at the tidal waters of Main Creek.

The following are comments regarding the plans as submitted; only the comments indicated in the closing paragraph require a point-by-point response:

A. Roads

The site has frontage along Poplar Ridge Road, which is a County public road. Right-of-way dedication and frontage improvements are not being required. Off site road improvements are

Page 2 of 2

not being required.

1. Poplar Ridge Road is an existing, improved 30-foot wide right-of-way.

B. Storm drains

1. Runoff from this site drains directly to the coastal waters of Main Creek.

C. Stormwater Management

Stormwater management includes raingardens and infiltration devices.

1. Stormwater management includes water quality and recharge.
2. This site has direct tidal discharge.

D. Utilities

This development will be served by

- i) Private water in water service area 01.
- ii) Private sewer in sewer service area 02.

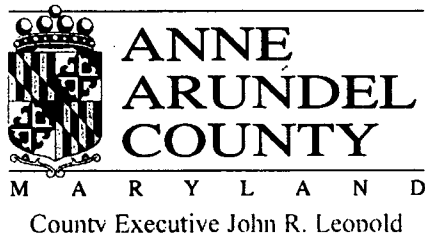
1. The Health Department will review this project for well and septic requirements.

E. Final Development/Grading plan

1. A private stormwater management agreement will be required prior to approval of the grading permit.
2. Please ensure that the grading permit is resubmitted through the Permit Application Center to address any comments that may have been deferred to permit and ensure that the set of plans approved with the grading permit is the same as the final site development plan.

All previous comments have been adequately addressed. We therefore recommend Site Development Plan approval of this project.

J:\Shared\subdiv\Claudia O\SDPs\c05-068m.doc



**Office of Planning and Zoning
Development Division
*INTER-OFFICE CORRESPONDENCE***

DATE: March 6, 2009
TO: Dan Gerczak - Planning Review
FROM: Jane Elberti - Traffic Review
SUBJECT: PLEASURE COVE MARINA
C#2005-068-01, G02011840 - revised Site Development Plan (R1)
tax map 18, block 14, parcel 73

The subject revised Site Development Plan for grading/ building permit submittal has been reviewed for traffic engineering requirements and the following comments / recommendations are provided:

ADEQUACY OF FACILITIES FOR ROADS:

Adequate information for APF Roads traffic generation has been provided to address Article 17 section 5-401. Information describing the current and proposed number of boat spaces states that there will be a reduction in boat slips (quote "...and the elimination of 39 existing boat slips.") The TIS information was presented separately in a TIS letter from a recognized traffic consultant.

Traffic can have no further objection to SDP approval based on APF (Roads) information.



M A R Y L A N D

County Executive John R. Leopold

Anne Arundel County Department of Health
J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, MD 21401
Phone 410-222-7193 Fax 410-222-7678
TTY: 410-222-7153 www.aahealth.org

Douglas L. Hart
Acting Health Officer

MEMORANDUM

TO: Judy Motta, MS-6001
Office of Planning and Code Enforcement

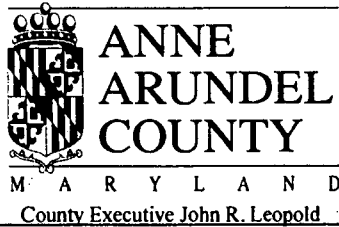
FROM: J. Thomas Gruver, MS-3101
Division of Environmental Health

DATE: April 3, 2009

RE: SUBJECT NAME: Pleasure Cove Marina
SITE DEV PLAN: C05-0068-00NC
Tax Map #: 18 Block #: 14 Parcel #: 73

The Anne Arundel County Department of Health has no objection to the above referenced project. The proposed on-site sewage system and water supply are adequate for the anticipated uses.

cc: Chris Saldano
Janet Scott



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401
OFFICE OF PLANNING AND ZONING

August 14, 2008

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068-01
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan (SDP) for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

A.	OPZ/Planning	Approval withheld August 11, 2008
B.	OPZ/Environmental	Approval withheld August 11, 2008
C.	OPZ/Landscaping	Approval withheld August 11, 2008
D.	OPZ/Engineering	Approval withheld August 12, 2008
E.	OPZ/Utilities	Approved August 12, 2008
F.	OPZ/Traffic Engineering	Approval withheld August 8, 2008
G.	OPZ/Archeological	Approved August 8, 2008
H.	Inspections & Permits/PAC	Approved August 6, 2008
I.	DPW/Traffic	Approved July 31, 2008
J.	Soil Conservation District	Approved July 25, 2008
K.	Health Department	Approval withheld August 12, 2008
L.	State Highway Administration	Approved July 17, 2008
M.	Fire Marshal Division	Comments to be forwarded
N.	Recreation and Parks	Approved August 12, 2008

I. Issues:

The revised SDP for new development in the 100 foot buffer and waterway did not include review packages to be routed to the Critical Area Commission, Maryland Department of Environment and Army Corp. of Engineers. Review and approval from these agencies are necessary prior to SDP approval.

II. Before approval of the Site Development Plan, the following agency comments must be resolved:

A.	OPZ/Planning	Comments dated August 11, 2008
B.	OPZ/Environmental	Comments dated August 11, 2008
C.	OPZ/Engineering	Comments dated August 12, 2008
D.	OPZ/Traffic	Comments dated August 8, 2008
E.	OPZ/Landscaping	Comments dated August 11, 2008
F.	Fire Marshal Division	Comments to be forwarded
G.	Health Department	Comments dated August 12, 2008

I.	Critical Area Commission	Review with next submittal
J.	Maryland Department of Environment	Review with next submittal
K.	Army Corp of Engineers	Review with next submittal

III. Adequacies of Facilities issues for item B has been reviewed and must be resolved with resubmittal. Items C, D and E are acceptable and will be approved with the final Site Development Plan provided no changes occur and subject to any noted conditions. Item A will be stipulated with the Fire Marshal comments.

- A. Fire Suppression: Adequacy of Facilities for Fire Suppression must be addressed.
- B. Roads: Adequacy of Facilities for Roads has not been addressed. Adequate information for addressing APF Roads traffic generation has not been provided to address Article 17, Section 5-401.
- C. Schools: Adequacy of Facilities for Schools is not required for this project. No new lots are being created.
- D. Utilities: Adequacy of Facilities for Utilities is not applicable. The property is served by private well and septic systems. Health Department must approve for septic and well.
- E. Storm Drains: Adequacy of Facilities for Storm Drains has been addressed. The site has direct tidal discharge into Main Creek.

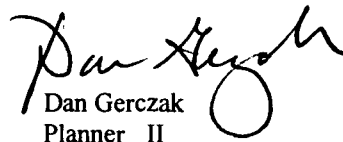
IV. Decision:

A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.

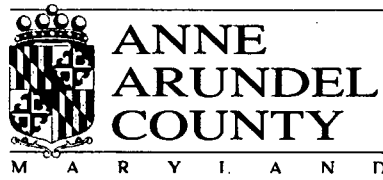
B. In accordance with Article 17-4-203 the resubmittal must be made and include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I, II and III above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to the Permit Application Center within forty-five days of receipt of the Fire Marshal comments.

If you have any questions regarding this project, please call me at 410-222-7960.

Sincerely,


Dan Gerczak
Planner II

cc: Larry Tom, Planning and Zoning Officer
Betty Dixon, Department of Inspections and Permits
Christopher Soldano, Assistant P&Z Officer
Kelly Krinetz, Critical Area Team Administrator
CA Team Reviewer: CYO, DWG, JAE
Jay Leshinski, John Peacock, Inspections and Permits
Inspector Charles Disney, Fire Marshal Division
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Megan Sines, Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
Site Plan File/Diary



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: August 11, 2008

TO: File

FROM: Environmental/Planning, OPZ, Mail Stop 6305, Dan Gerczak

SUBJECT: Pleasure Cove Marina C 2005-0068, G02011840

The subject Site Development Plan submittal has been reviewed from a Planning and Zoning/Environmental/Landscaping standpoint and the following comments were generated.

Environmental:

- 1) A variance is required for disturbance of slopes greater than 15%. For more information concerning the variance process, please contact the zoning office at 410-222-7437.
- 2) The proposed development requires 42,411 square feet of violation mitigation prior to SDP approval. A planting plan, bond inspection fee and forestation agreement will be required for 14,137 sq. ft. and the remaining square footage will be collected as a fee-in-lieu (bond = \$16,964.40, inspection fee = \$1,187.50 and fee-in-lieu = \$33,928.80). Please add these calculations onto the title sheet reflecting the additional and revised SDP calculations.
- 3) A fee-in-lieu for new impervious surface inside a buffer modification area is required (Article 17-11-101). The fee amount of \$21,420 (11,900 sq. ft.) must be paid prior to SDP approval.
- 4) Please correct the critical area mitigation calculations table on the title sheet as necessary. Please note that the bond amount already collected for the original SDP approval was \$35,437.00 for 29,531 sq. ft. of planting.
- 5) The proposed violation mitigation planting in the existing forest conservation easement parcel 1 is not acceptable.
- 6) The proposed impervious removal to mitigate the new impervious is not impervious according to the plans (sheet 3). This area is currently sand and bare earth. Please correct the impervious areas mitigation as a variance would not be supported to increase the impervious area of the site.
- 7) The recorded conservation easement is not shown correctly on the SDP. Please remove the paved access walks in the easement and reestablish the correct boundaries.

- 8) Please remove the LOD grading from the recorded parcels 2, 3 and 4 of the Forest Conservation Easement Area. Only impervious area may be removed and buffer vegetation planted in accordance with the Buffer Planting Plan in this area. This is a protected easement and existing vegetation/trees may not be disturbed.
- 9) Please clarify the note on page 5 which states that the area of disturbance in the buffer does not include the removal of gravel. Please clarify the site analysis asterisk notes on the title page regarding disturbance and gravel areas.
- 10) Make a list/table and identify all the permits associated with this development and their purpose on the title page. Include all appropriate State/Army Corp permit references.
- 11) The US Army Corp of Engineers, Maryland Department of Environment and the Critical Area Commission must review the revised SDP and the project must obtain their approval prior to SDP approval.

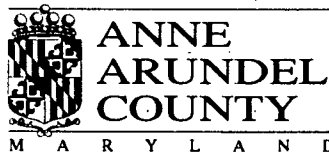
Planning:

- 1) A presubmittal community meeting was not held. A meeting is required because the SDP was approved and then revised for a new expanded development. This new development submittal has occurred after the effective date of Bill 77-05.
- 2) Please address the parking/trailer spaces requirements per ramp. The parking calculations must clearly address parking space requirements of Article 18-3-104 on the title page.

Landscape:

- 1) The landscape site plan analysis notes are not consistent with the title sheet notes.
- 2) The landscaping cost estimate is not shown on the plans. The estimate must be consistent with the grading permit cost estimate.

Site Development Plan approval is withheld pending the resolution of the above comments.



Office of Planning and Zoning
Development Division

INTER-OFFICE CORRESPONDENCE

DATE: August 12, 2008
TO: Dan Gerczak, Planner
FROM: Claudia O'Keeffe, Engineer
SUBJECT: Pleasure Cove Marina, C05-0068, G02011840

Engineering and Utility Review

The above-referenced project has been reviewed for Public Works and Utility issues and the following comments apply:

Adequacy of public facilities is being addressed as follows:

Fire Suppression:

The site will be served by private well and septic systems. A fire suppression tank is required by the Fire Marshal's Office. The final decision regarding adequacy of facilities for fire suppression is being deferred to the Office of the Fire Marshal.

Utilities:

The site will be served by private well and/or septic systems. Adequacy of facilities for utilities will be deferred to the Anne Arundel County Department of Health.

Storm Drains:

Adequacy of facilities for storm drainage has been adequately addressed.

The proposed storm drainage system adequately conveys storm water runoff in a non-erosive manner to the site and tributary outfalls and to the Point of Investigation (POI) located at the tidal waters of Main Creek.

The following are comments regarding the plans as submitted; only the comments indicated in the closing paragraph require a point-by-point response:

A. Roads

The site has frontage along Poplar Ridge Road, which is a County public road. Right-of-way dedication and frontage improvements are not being required. Off site road improvements are

Page 2 of 2

not being required.

1. Poplar Ridge Road is an existing, improved 30-foot wide right-of-way.

B. Storm drains

1. Runoff from this site drains directly to the coastal waters of Main Creek.

C. Stormwater Management

Stormwater management includes raingardens and infiltration devices.

1. Stormwater management includes water quality and recharge.
2. This site has direct tidal discharge.
3. Stormwater management must be provided for the new impervious area being created as shown on the revised plans. The plans indicate an area where paving is to be removed, however, this area is shown on the pre-development plan as currently non-impervious area.

D. Utilities

This development will be served by

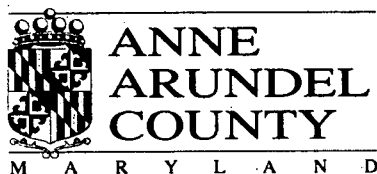
- i) Private water in water service area 01.
 - ii) Private sewer in sewer service area 02.
1. The Health Department will review this project for well and septic requirements.

E. Final Development/Grading plan

1. A note on sheet one of the plans indicates that the total disturbed area does not include gravel removed from existing parking/boat storage areas. The limit of disturbance must include all areas being disturbed, including areas where paving/impervious is being removed.
2. Sheet one of the plans lists "total disturbed area" and "gravel to be removed from parking areas". Clarify if the total disturbed area includes the "gravel to be removed". Clarify the meaning of the associated footnote, "Nominal area of disturbance on existing gravel lots currently used for or to be converted to parking..."
3. A private stormwater management agreement will be required prior to approval of the grading permit.
4. Please ensure that the grading permit is resubmitted through the Permit Application Center to address any comments that may have been deferred to permit and ensure that the set of plans approved with the grading permit is the same as the final site development plan.

This project cannot be approved until comments C3 and E1&2 have been addressed.

J:\Shared\subdiv\Claudia O\SDPs\c05-068k.doc



**Office of Planning and Zoning
Development Division
INTER-OFFICE CORRESPONDENCE**

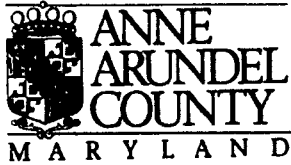
DATE: August 8, 2008
TO: Dan Gerczak - Planning Review
FROM: Jane Elberti - Traffic Review
SUBJECT: PLEASURE COVE MARINA
C#2005-068-01, G02011840 – revised Site Development Plan
tax map 14, block 18, parcel 73

The subject revised Site Development Plan for grading/ building permit submittal has been reviewed for traffic engineering requirements and the following comments / recommendations are provided:

ADEQUACY OF FACILITIES FOR ROADS:

1. Adequate information for APF Roads traffic generation has NOT been provided to address Article 17 section 5-401. Information describing the current and proposed number of boat spaces is required (with the corresponding ITE rates and calculations and all other site generation). The revised plan indicates that there will be a new "forklift" boat ramp. These requirements will allow assessment of potential vehicular trip increases. The TIS information must be presented separately in a TIS report or letter with data back-up from a recognized traffic consultant. A statement "no impact" without data to justify that statement is NOT acceptable.
2. Expand the parking calculation chart: provide 5 trailer spaces per water access ramp / boat launch area. Trailer spaces are required based on the site plan.

Traffic withholds SDP approval until the above comments APF comment is addressed.



County Executive John R. Leopold

Anne Arundel County Department of Health
J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, MD 21401
Phone 410-222-7193 Fax 410-222-7678
TTY: 410-222-7153 www.aahealth.org

Frances B. Phillips, R.N., M.H.A.
Health Officer

MEMORANDUM

TO: Judy Motta, MS-6001
Office of Planning and Code Enforcement

FROM: J. Thomas Gruver, MS-3101
Division of Environmental Health

DATE: August 12, 2008

RE: SUBJECT NAME: Pleasure Cove Marina
SITE DEV PLAN: C05-0068-01NC
Tax Map #: 18 Block #: 14 Parcel #: 073

The Anne Arundel County Department of Health recommends denial of the above referenced project. The adequacy of the on-site sewage disposal system to handle the anticipated additional flows must be demonstrated before the Health Department can approve this project.

cc: Chris Saldano
Janet Scott

**ANNE ARUNDEL COUNTY
PERMIT APPLICATION CENTER**

INTER-OFFICE CORRESPONDENCE

August 6, 2008

TO: Kelly Krinetz
Office of Planning & Zoning

FROM: Jay Leshinksie
Department of Inspections & Permits

SUBJECT: C2005-0068 01 NC / G02011840

We have reviewed the submitted request and have the following comments:

This Office has no objection to this plan subject to ensuring there will be adequate outfall for the site and there will be no downstream flooding & erosion.

Cc: Chron file

ANNE ARUNDEL COUNTY

Annapolis, Maryland

RESUBMITTAL COVER SHEET

TO: Office of Planning and Zoning/Development Division

FROM: _____

RE: Project Name – Pleasure Cove Marina
Site Development Plan # C 2005-0068-01

PLEASE FIND ATTACHED RESPONSE LETTER/REVISED PLAN (AND ANY AGENCY-MARKED PRINTS) PACKAGES FOR:

X	OPZ/Subdivision Review Planner	X	Health Department
X	OPZ/Engineering Review		Board of Education
X	OPZ/Traffic Review	X	Archaeological/Historical
	OPZ/Utilities Review	X	Fire Marshal Division
	House Numbers/Street Names		Md. State Aviation Adm.
X	OPZ/Environmental		Office of Law
X	OPZ/Landscape	X	Permit Application Center
	Soil Conservation District	X	Critical Area Commission
	Recreation and Park	X	MD Dept. of Environment
	State Highway Administration	X	Army Corp of Engineers

The engineer/developer certifies that all of the above-mentioned agencies are being responded to with their own completed package. Each package shall contain the necessary response letter/plans/plats/studies, computations (if applicable) and agency marked-up plans (if provided) addressing all of the items required to be addressed in the prior review comments from each agency. All correspondence, plans, plats, studies, comps, etc. must list both the correct subdivision or SDP number and project number.

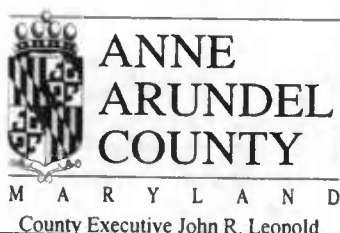
Submit the completed resubmittal package to Judy Motta on the 1st floor of PAC prior to acceptance by OPZ/Development Division.

This marked form highlighting the specific agency must accompany your resubmittal otherwise it can not be accepted by P&Z/Development Division.

Developer/Engineer (SEAL)

Attachments

J:\subdiv\Callahan, Steve-Resubmittal Cover Sheet.doc 01/02/07



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401
OFFICE OF PLANNING AND ZONING

May 6, 2008

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068
Grading Permit # G02011840

RECEIVED

JUN 2 2008

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

- | | | |
|----|-------------------|--------------------------------|
| A. | OPZ/Planning | Approved w/comment May 2, 2008 |
| B. | OPZ/Environmental | Approved w/comment May 2, 2008 |
| C. | OPZ/Engineering | Approved May 2, 2008 |
- I. The agency comments listed below (copies attached) must be addressed with grading and building permit submittals:
- | | | |
|----|-------------------|---------------------------|
| A. | OPZ/Planning | Comment dated May 2, 2008 |
| B. | OPZ/Environmental | Comment dated May 2, 2008 |
- II. Adequacies of Facilities issues for items A through E have been reviewed and are approved subject to any noted conditions.
- A. Fire Suppression: Adequacy of Facilities for Fire Suppression has been addressed. A fire flow test and report was not required. The Fire Marshal approved the project on January 12, 2007.
 - B. Roads: Adequacy of Facilities for Roads has been addressed. Adequate information to address APF Roads traffic generation has been provided. The TIS information was presented separately in a letter from a recognized traffic consultant and the assumptions were found to be acceptable by the P & Z Officer.
 - C. Schools: Adequacy of Facilities for Schools is not required for this project. No new lots are being created.
 - D. Utilities: Adequacy of Facilities for Utilities is not applicable for this project. The property is served by private well and septic systems. The Health Department approved the project on February 2 and September 17, 2007.
 - E. Storm Drains: Adequacy of Facilities for Storm Drains has been addressed. The proposed storm drainage system adequately conveys stormwater runoff in a non-erosive manner to the site and tributary outfalls and to the Point of Investigation (POI) located at the tidal waters of Main Creek.

III. Decision:

Based upon the information submitted for the above referenced project, this office recommends Site Development Plan approval to the Department of Inspection and Permits as of the date of this letter. This recommendation is subject to items in Section I listed above being satisfactorily addressed prior to the issuance of the grading and building permit for the project.

IV. Resubmittal/Agreements/Expiration:

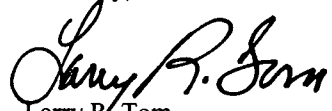
Each agency submittal package for the grading/building permit(s) shall include a point-by-point response letter addressing the items in Section I.

The developer/owner shall prepare, execute and deliver at one time all agreements, including a public works agreement, a forestation agreement, a deed to right-of-ways containing public road improvements constructed by the developer, and all other deeds, easements, rights-of-way, agreements and other documents required by Article 17, of the Anne Arundel County Code.

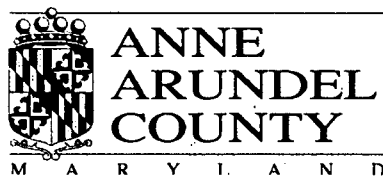
Please be advised that the Adequacy of Facilities approval is valid for six months from the date of this letter (November 6, 2008) per Article 17-5-205 and the Site Development Plan expires one year from the date of this letter (May 6, 2009) per Article 17-4-206 unless the developer/owner obtains the appropriate permit(s) or in the case where the Site Development Plan is not associated with a permit, establishes the use within one year.

If you have any questions regarding this project, please call Dan Gerczak of this office at 410-222-7960.

Sincerely,


Larry R. Tom
Planning and Zoning Officer

cc: Christopher Soldano, Asst. P&Z Officer
Kelly Krinetz, Critical Area Administrator
OPZ CA Team: DWG, CYO, JAE
Suzy Schappert, Zoning Administrator
Judy Motta, Dan Kane, PAC
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Megan Sines Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
Inspector Charles Disney, Fire Marshal Division
Gerald Herson, 1737 Poplar Ridge Road, Pasadena, MD 21122
Patti Turner, OPZ/Administration
Site Plan File/Diary
J:\Shared\subdiv\Dan Gerczak\C2005-0068 Pleasure Cove approved



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: May 2, 2008

TO: File

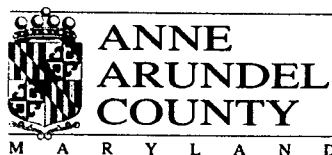
FROM: Environmental/Planning, OPZ, Mail Stop 6305, Dan Gerczak

SUBJECT: Pleasure Cove Marina C 2005-0068, G02011840

The subject Site Development Plan submittal has been reviewed from a Planning and Zoning/Environmental/Landscaping standpoint and the following comments were generated.

- 1) The grading permit G02013348 must be canceled prior to approval of G002011840.
- 2) The Critical Area forestation agreement and conservation easement must be completely processed prior to grading permit approval.

Site Development Plan approval is granted pending the resolution of the above comments prior to permit approvals.



Office of Planning and Zoning
Development Division

INTER-OFFICE CORRESPONDENCE

DATE: May 2, 2008
TO: Dan Gerczak, Planner
FROM: Claudia O'Keeffe, Engineer
SUBJECT: Pleasure Cove Marina, C05-0068, G02011840

Engineering and Utility Review

The above-referenced project has been reviewed for Public Works and Utility issues and the following comments apply:

Adequacy of public facilities is being addressed as follows:

Fire Suppression:

The site will be served by private well and septic systems. A fire suppression tank is required by the Fire Marshal's Office. The final decision regarding adequacy of facilities for fire suppression is being deferred to the Office of the Fire Marshal.

Utilities:

The site will be served by private well and/or septic systems. Adequacy of facilities for utilities will be deferred to the Anne Arundel County Department of Health.

Storm Drains:

Adequacy of facilities for storm drainage has been adequately addressed. The proposed storm drainage system adequately conveys storm water runoff in a non-erosive manner to the site and tributary outfalls and to the Point of Investigation (POI) located at the tidal waters of Main Creek.

The following are comments regarding the plans as submitted; only the comments indicated in the closing paragraph require a point-by-point response:

A. Roads

The site has frontage along Poplar Ridge Road, which is a County public road. Right-of-way dedication and frontage improvements are not being required. Off site road improvements are

Page 2 of 2

not being required.

1. Poplar Ridge Road is an existing, improved 30-foot wide right-of-way.

B. Storm drains

1. Runoff from this site drains directly to the coastal waters of Main Creek.

C. Stormwater Management

Stormwater management includes raingardens and infiltration devices.

1. Stormwater management includes water quality and recharge.
2. This site has direct tidal discharge.

D. Utilities

This development will be served by

- i) Private water in water service area 01.
- ii) Private sewer in sewer service area 02.

1. The Health Department will review this project for well and septic requirements.

E. Final Development/Grading plan

1. A private stormwater management agreement will be required prior to approval of the grading permit.
2. Please ensure that the grading permit is resubmitted through the Permit Application Center to address any comments that may have been deferred to permit and ensure that the set of plans approved with the grading permit is the same as the final site development plan.

We recommend Site Development Plan approval of these plans.

J:\Shared\subdiv\Claudia O\SDPs\c05-068i.doc



INTEROFFICE CORRESPONDENCE
Fire Department

John R. Leopold, County Executive
David L. Stokes, Fire Chief

TO: Dan Gerczak, Planning & Zoning

CC: Nancy McGuckian

FROM: Inspector Charles Disney, Fire Marshal Division

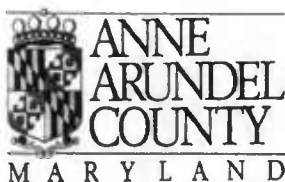
DATE: March 26, 2008

SUBJECT: Project Name: Pleasure Cove Marina
Site Development Plan No; C05-068
Site Development Plan Review

Approval is granted for the above referenced project.

The following comment is provided for informational purposes. This requirement will be enforced during the building permit review process.

1. The capacity of the tank and calculations in accordance with NFPA 1142 should be indicated at the time of building permit application. A review of tank capacity is not completed during the site plan review process.



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401

OFFICE OF PLANNING AND ZONING

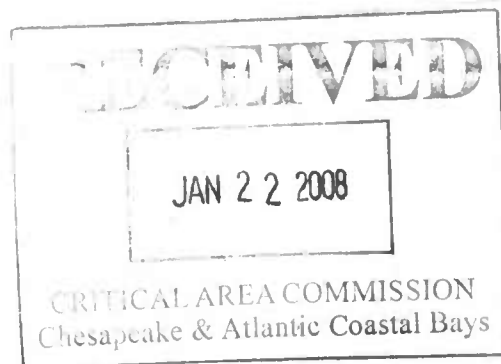
January 9, 2008

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.



- | | | |
|----|-------------------|-------------------------------------|
| A. | OPZ/Planning | Approved w/comments January 9, 2008 |
| B. | OPZ/Environmental | Approval withheld January 9, 2008 |
| C. | OPZ/Engineering | Approval withheld December 28, 2007 |
- I. Before approval of the Site Development Plan, the following agency comments must be resolved:
- | | | |
|----|-------------------|----------------------------------|
| A. | OPZ/Planning | Comments dated January 9, 2008 |
| B. | OPZ/Environmental | Comments dated January 9, 2008 |
| C. | OPZ/Engineering | Comments dated December 28, 2007 |
- II. Adequacies of Facilities issues for items A thru E have been reviewed and are approved subject to any noted conditions.
- A. Fire Suppression: Adequacy of Facilities for Fire Suppression has been addressed. A fire flow test and report was not required.
 - B. Roads: Adequacy of Facilities for Roads has been addressed. Adequate information to address APF Roads traffic generation has been provided. The TIS information was presented separately in a letter from a recognized traffic consultant and the assumptions were found to be acceptable by the P&Z Officer.
 - C. Schools: Adequacy of Facilities for Schools is not required for this project. No new lots are being created.

Mr. Danny Boyd
January 9, 2008
Page 2

- D. Utilities: Adequacy of Facilities for Utilities is not applicable. The property is served by private well and septic systems. Health Department must approve for septic and well.
- E. Storm Drains: Adequacy of Facilities for Storm Drains has been addressed.. The site has direct tidal discharge into Main Creek.

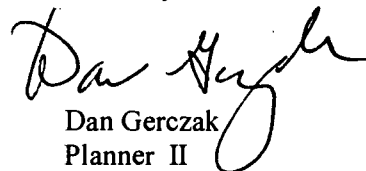
III. Decision:

A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.

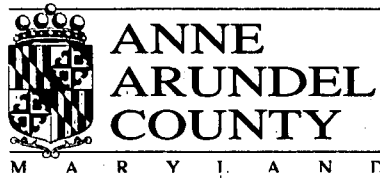
B. In accordance with Article 17-4-203 the resubmittal must be made within forty-five (45) days of the date of this letter and must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I and II above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to Nancy McGuckian, Permit Application Center, by February 25, 2008.

If you have any questions regarding this project, please call me at 410-222-7960.

Sincerely,


Dan Gerczak
Planner II

cc: Christopher Soldano, Assistant P&Z Officer
Kelly Krinetz, Critical Area Team Administrator
CA Team Reviewer: CYO, DWG
Suzy Schappert, Zoning Administrator
Frank Ward, Nancy McGuckian, PAC
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Megan Sines, Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
GPFile/Site PlanFile/Diary



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: January 9, 2008

TO: File

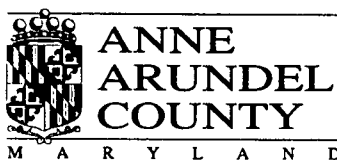
FROM: Environmental/Planning, OPZ, Mail Stop 6305, Dan Gerczak

SUBJECT: Pleasure Cove Marina C 2005-0068, G02011840

The subject Site Development Plan submittal has been reviewed from a Planning and Zoning/Environmental standpoint and the following comments were generated.

- 1) The Critical Area forestation agreement must be processed by this office prior to SDP approval. The bond is \$1.20 per sq. ft. and the inspection fee is seven (7) percent of the bond amount. The agreement and plan has been received but not the fee and bond.
- 2) The landscaping cost estimate must be bonded on the grading cost estimate.
- 3) The grading permit must be updated and identical to the approved SDP plan prior to grading permit approval.
- 4) The forest conservation easement is currently being processed for OPZ signature. The county must sign off prior to SDP approval.

Site Development Plan approval is withheld pending the resolution of the above comments.



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: December 28, 2007
TO: Dan Gerzak, Planner
FROM: Claudia O'Keeffe, Engineer
SUBJECT: Engineering and Utilities Reviews for Pleasure Cove Marina, Pasadena, Maryland; Site Development Plan No. C05-068, G02011840

I have reviewed the above referenced addition for engineering and utilities. All previous comments have been addressed.

Storm drainage is adequate as the site has direct tidal discharge into Main Creek.
Adequacy of utilities is not applicable as the property is served by private well and septic.

Roads:

1. This site fronts on Poplar Ridge Road, a County public road.

Storm Drains:

2. Runoff flows directly from this site to the tidal waters of Main Creek.

Stormwater Management:

3. Stormwater management has been changed from what was shown in previous submittals. The proposed stormwater management now includes bioretention and two infiltration trenches.
4. Borings appear to have been taken in the area of the proposed swm devices, however the pertinent boring logs are not included in the geotechnical report (i.e. borings B-1, and B-4).
5. The bottom of infiltration devices must be at least two feet above the ground water level. Based on the soil borings submitted, the infiltration devices do not appear to meet this requirement.
6. One of the proposed infiltration devices is located within the 100-foot buffer to tidal waters.
7. All stormwater management devices must be located at least 10 feet from all property lines and 10 feet from all structures (20 feet if upgradient).

Utilities:

8. This site is currently served by well and septic, therefore approval of water and sewer service is deferred to the Health Department.

Based on the information provided, I recommend withholding approval until the above comments (#4 through 7) have been addressed.

ANNE ARUNDEL COUNTY

Annapolis, Maryland

RESUBMITTAL COVER SHEET

TO: Office of Planning and Zoning/Development Division

FROM: _____

RE: Subdivision Name – Pleasure Cove Marina
Site Development Plan # C 2005-0068

PLEASE FIND ATTACHED RESPONSE LETTER/REVISED PLAN (AND ANY AGENCY-MARKED PRINTS) PACKAGES FOR:

X	OPZ/Subdivision Review Planner	Health Department
X	OPZ/Engineering Review	Board of Education
	OPZ/Traffic Review	Archaeological/Historical
	OPZ/Utilities Review	Fire Marshal Division
	House Numbers/Street Names	MD State Aviation Adm.
	OPZ/Environmental	Office of Law
	OPZ/Landscape	Other Agency: I & P
	Soil Conservation District	
	Recreation and Parks	
	State Highway Administration	

The engineer/developer certify that all of the above-mentioned agencies are being responded to with their own completed package. Each package shall contain the necessary response letter/plans/plats/studies, computations (if applicable) and agency marked-up plans (if provided) addressing all of the items required to be addressed in the prior review comments from each agency. All correspondence, plans, plats, studies, comps, etc. must list both the correct subdivision and project numbers.

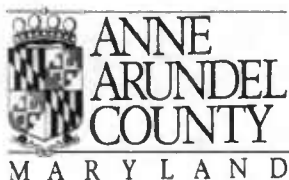
Submit the completed resubmittal package to Nancy McGuckian on the 1st floor of PAC prior to acceptance by OPZ/Development Division.

This marked form highlighting the specific agency must accompany your resubmittal otherwise it can not be accepted by P&Z/Development Division.

Developer/Engineer (SEAL)

Attachments

J:\subdiv\Callahan, Steve-Resubmittal Cover Sheet.doc 01/02/07



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401

OFFICE OF PLANNING AND ZONING

October 12, 2007

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

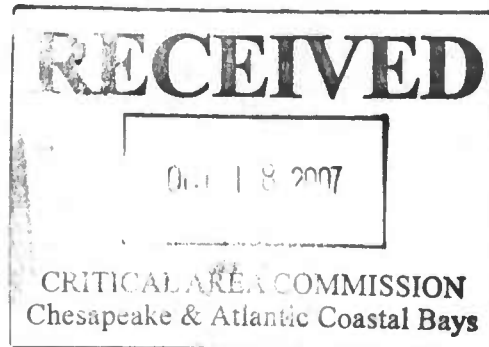
A.	OPZ/Planning	Approval withheld October 12, 2007
B.	OPZ/Environmental	Approval withheld October 12, 2007
C.	OPZ/Engineering	Approved October 9, 2007
D.	Critical Area Commission	Approved September 25, 2007

I. Before approval of the Site Development Plan, the following agency comments must be resolved:

A.	OPZ/Site Planning	comments dated October 12, 2007
B.	OPZ/Environmental	comments dated October 12, 2007

II. Adequacies of Facilities issues for items A thru E have been reviewed and are approved subject to any noted conditions.

- A. Fire Suppression: A fire flow test and report was not required.
- B. Roads: Adequate information to address APF Roads traffic generation has been provided. The TIS information was presented separately in a letter from a recognized traffic consultant and the assumptions were found to be acceptable by the P&Z Officer.
- C. Schools: Residential uses are not proposed. School adequacy is not required for this project.
- D. Utilities: Adequacy of utilities is not applicable. The property is served by private well and septic systems. Health Department must approve for septic and well.



Mr. Danny Boyd
October 12, 2007
Page 2

E. Storm Drains: Storm drainage is adequate. The site has direct tidal discharge into Main Creek.

III. Decision:

A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.

B. In accordance with Article 17-4-203 the resubmittal must be made within forty-five (45) days of the date of this letter and must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I and II above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to Nancy McGuckian, Permit Application Center, by November 30, 2007.

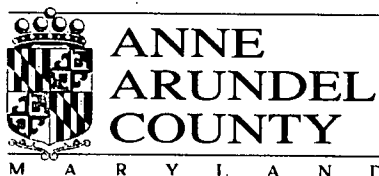
If you have any questions regarding this project, please call me at 410-222-7960.

Sincerely,



Dan Gerczak
North Team Planner

cc: Christopher Soldano, Assistant P&Z Officer
Kelly Krinetz, Critical Area Team Administrator
North Team Reviewers: CYO, JAE,
Suzy Schappert, Zoning Administrator
Frank Ward, Nancy McGuckian, PAC
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Megan Sines, Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
OPZ/Administration
GPFile/Site PlanFile/Diary



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: October 12, 2007

TO: File

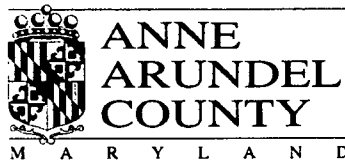
FROM: Environmental/Planning, OPZ, Mail Stop 6305, Dan Gerczak

SUBJECT: Pleasure Cove Marina C 2005-0068, G02011840

The subject Site Development Plan submittal has been reviewed from a Planning and Zoning/Environmental standpoint and the following comments were generated.

- 1) The proposed development must apply for a building permit prior to SDP approval. The building permit must verify the proposed use of the structure.
- 2) The Critical Area bond and forestation agreement must be processed by this office prior to SDP approval. The bond is \$1.20 per sq. ft. and the inspection fee will be seven (7) percent of the bond amount.
- 3) The landscaping cost estimate must be bonded on the grading cost estimate.
- 4) The grading permit must be updated and identical to the approved SDP plan prior to grading permit approval.
- 5) The forest conservation easement must be processed by this office prior to SDP approval.

Site Development Plan approval is withheld pending resolution of comments.



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: October 9, 2007
TO: Dan Gerzak, Planner
FROM: Claudia O'Keeffe, Engineer
SUBJECT: Engineering and Utilities Reviews for Pleasure Cove Marina, Pasadena, Maryland; Site Development Plan No. C05-068, G02011840

I have reviewed the above referenced addition for engineering and utilities. All previous comments have been addressed.

Storm drainage is adequate as the site has direct tidal discharge into Main Creek.
Adequacy of utilities is not applicable as the property is served by private well and septic.

Based on the information provided, I recommend approval of this site development plan.

J:\Shared\subdiv\Claudia O\SDPs\c05-068g.doc

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

September 25, 2007

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068

Dear Ms. Krinetz:

I have received a resubmittal for the above-referenced request. We have reviewed the Buffer Plan and it appears to meet the County's Buffer Management Area mitigation requirements.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3476 or Lisa Hoerger at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script, reading "Megan J. Sines".

Megan J. Sines
Natural Resources Planner

cc: AA 71-06

ANNE ARUNDEL COUNTY

Annapolis, Maryland

RESUBMITTAL COVER SHEET

TO: Office of Planning and Zoning/Development Division

FROM: _____

RE: Subdivision Name – Pleasure Cove Marina
Site Development Plan # C 2005-0068

PLEASE FIND ATTACHED RESPONSE LETTER/REVISED PLAN (AND ANY AGENCY-MARKED PRINTS) PACKAGES FOR:

X	OPZ/Subdivision Review Planner	Health Department
	OPZ/Engineering Review	Board of Education
	OPZ/Traffic Review	Archaeological/Historical
	OPZ/Utilities Review	Fire Marshal Division
	House Numbers/Street Names	MD State Aviation Adm.
	OPZ/Environmental	Office of Law
	OPZ/Landscape	Other Agency: I & P
	Soil Conservation District	
	Recreation and Parks	
	State Highway Administration	

The engineer/developer certify that all of the above-mentioned agencies are being responded to with their own completed package. Each package shall contain the necessary response letter/plans/plats/studies, computations (if applicable) and agency marked-up plans (if provided) addressing all of the items required to be addressed in the prior review comments from each agency. All correspondence, plans, plats, studies, comps, etc. must list both the correct subdivision and project numbers.

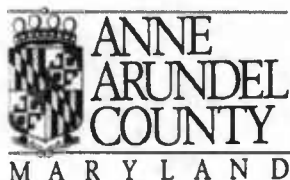
Submit the completed resubmittal package to Nancy McGuckian on the 1st floor of PAC prior to acceptance by OPZ/Development Division.

This marked form highlighting the specific agency must accompany your resubmittal otherwise it can not be accepted by P&Z/Development Division.

Developer/Engineer (SEAL)

Attachments

J:\subdiv\Callahan, Steve-Resubmittal Cover Sheet.doc 01/02/07



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401

OFFICE OF PLANNING AND ZONING

July 27, 2007

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

- A. OPZ/Planning- Approval withheld July 13, 2007
- B. OPZ/Environmental- Approval withheld July 13, 2007
- C. OPZ/Engineering- Approval withheld July 18, 2007
- D. Critical Area Commission- Conditional Approval April 12, 2007

I. Issues:

- A. The tree clearing in the buffer described in the resubmittal letter must be resolved prior to site development plan approval or provide verification that the tree removal was approved by the county.
- B. Please note that the SDP review does not constitute a review of pier or bulkhead permits or imply approval of those permits. Those permits will require State Wetland Administration approval.

II. Before approval of the Site Development Plan, the following agency comments must be resolved:

- A. OPZ/Site Planning comment dated July 13, 2007
- B. OPZ/Environmental comments dated July 13, 2007
- C. OPZ/Engineering comments dated July 18, 2007

III. Adequacies of Facilities issues for items A thru E have been reviewed and are approved subject to any noted conditions.

RECEIVED

AUG 03 2007

CRITICAL AREA COMMISSION

Mr. Dan Boyd
July 27, 2007
Page 2

- A. Fire Suppression: A fire flow test and report was not required.
- B. Roads: Adequate information to address APF Roads traffic generation has been provided. The TIS information was presented separately in a letter from a recognized traffic consultant and the assumptions were found to be acceptable by the P&Z Officer.
- C. Schools: Residential uses are not proposed. School adequacy is not required for this project.
- D. Utilities: Adequacy of utilities is not applicable. The property is served by private well and septic systems. Health Department must approve for septic and well.
- E. Storm Drains: Storm drainage is adequate. The site has direct tidal discharge into Main Creek.

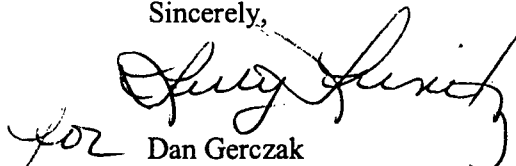
III. Decision:

A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.

B. In accordance with Article 17-4-203 the resubmittal must be made within forty-five (45) days of the date of this letter and must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I and II above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to Nancy McGuckian, Permit Application Center, by September 10, 2007.

If you have any questions regarding this project, please call me at 410-222-7960.

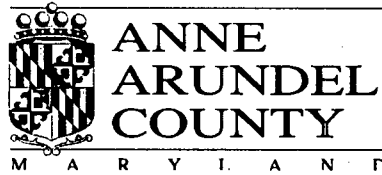
Sincerely,


for Dan Gerczak
North Team Planner

Attachments
DWG/skk

cc: Christopher Soldano, Asst. P&Z Officer
North Team: CYO, JAE, JFH
Suzy Schappert, Zoning Administrator
Frank Ward, Nancy McGuckian, PAC
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Megan Sines, Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
OPZ/Adm
GPFile/Site PlanFile/Diary

J:\Shared\subdiv\Dan Gerczak\C2005-068-Pleasure Cove Marina-07.17.07.doc



**Office of Planning and Zoning
Development Division**

INTER-OFFICE CORRESPONDENCE

DATE: July 13, 2007

TO: File

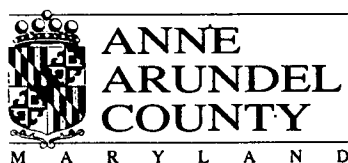
FROM: Environmental/Planning, OPZ, Mail Stop 6305, Dan Gerczak

SUBJECT: Pleasure Cove Marina C 2005-0068, G02011840

The subject Site Development Plan submittal has been reviewed from a Planning and Zoning/Environmental standpoint and the following comments were generated.

- 1) The SDP will not be approved until the outstanding clearing violation has been resolved with the forestry/grading office.
- 2) The proposed impervious area has increased by 40,648 sq. ft. with this resubmittal. Please revise the previously submitted impervious area reduction colorized plans to demonstrate the 56,512 sq. ft. of impervious reduction. OPZ/Engineering must reevaluate their approval of the plans due to the increase in impervious area change with this resubmittal. Show the 665 sq. ft. of new impervious area in the 100 ft. buffer on the colorized plan.
- 3) The Critical Area bond and forestation agreement will be processed by this office with the grading permit. The bond is \$1.20 per sq. ft. and the inspection fee will be 7 percent.
- 4) The landscaping cost estimate will be bonded on the grading cost estimate. Add the landscaping cost estimate on the SDP landscape plan detail sheet.
- 5) The grading permit must be updated and identical to the approved SDP plan prior to grading permit approval.
- 6) Please forward the conservation easement to this office for processing when available (Title 17-8-901).

Site Development Plan approval is withheld pending resolution of comments 1, 2 and 4.



**Office of Planning and Zoning
Development Division**

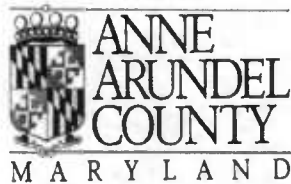
INTER-OFFICE CORRESPONDENCE

DATE: July 18, 2007
TO: Dan Gerzak, Planner
FROM: Claudia O'Keeffe, Engineer
SUBJECT: Engineering and Utilities Reviews for Pleasure Cove Marina, Pasadena, Maryland; Site Development Plan No. C05-068, G02011840

I have reviewed the above referenced addition for engineering and utilities.

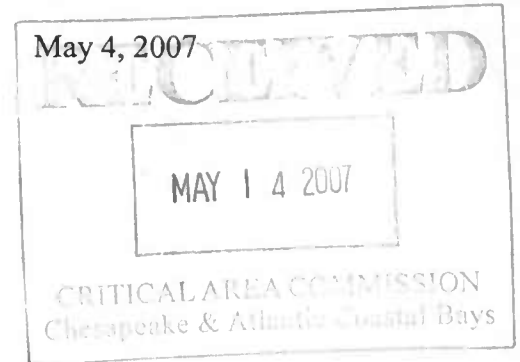
The proposed impervious area noted on the plans has increased from approximately 293,000 square feet to approximately 334,000 square feet. Clearly indicate where this additional impervious area is created. Provide stormwater management for the additional impervious area in accordance with the County Stormwater Management Manual.

I recommend approval of this site development plan until the above comment has been addressed.



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401

OFFICE OF PLANNING AND ZONING



Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

- A. OPZ/Planning- Approval withheld April 26, 2007
- B. OPZ/Traffic- Approved April 26, 2007
- C. OPZ/Environmental- Approval withheld April 26, 2007
- D. Critical Area Commission- Conditional Approval April 12, 2007

I. Issues:

- A. The tree clearing in the buffer described in the resubmittal letter must be resolved prior to site development plan approval or provide verification that the tree removal was approved by the county.
- B. Please note that the SDP review does not constitute a review of pier or bulkhead permits or imply approval of those permits. Those permits will require State Wetland Administration approval.

II. Before approval of the Site Development Plan, the following agency comments must be resolved:

- A. OPZ/Site Planning comment dated April 26, 2007
- B. OPZ/Environmental comments dated April 26, 2007

III. Adequacies of Facilities issues for items A thru E have been reviewed and are approved subject to any noted conditions.

Mr. Dan Boyd
May 4, 2007
Page 2

- A. Fire Suppression: A fire flow test and report was not required.
- B. Roads: Adequate information to address APF Roads traffic generation has been provided. The TIS information was presented separately in a letter from a recognized traffic consultant and the assumptions were found to be acceptable by the P&Z Officer.
- C. Schools: Residential uses are not proposed. School adequacy is not required for this project.
- D. Utilities: Adequacy of utilities is not applicable. The property is served by private well and septic systems. Health Department must approve for septic and well.
- E. Storm Drains: Storm drainage is adequate. The site has direct tidal discharge into Main Creek.

III. Decision:

A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.

B. In accordance with Article 17-4-203 the resubmittal must be made within forty-five (45) days of the date of this letter and must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I and II above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to Nancy McGuckian, Permit Application Center, by June 25, 2007.

If you have any questions regarding this project, please call me at 410-222-7458.

Sincerely,



Dan Gerczak
North Team Planner

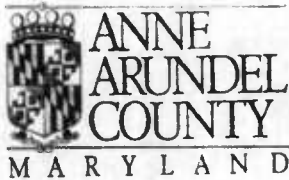
Attachments

DWG/skk

cc: Christopher Soldano, Asst. P&Z Officer
North Team: CYO, JAE, JFH
Suzy Schappert, Zoning Administrator
Frank Ward, Nancy McGuckian, PAC
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Megan Sines, Critical Area Commission
Doldon Moore, Wetlands Administrator, Maryland Board of Public Works
OPZ/Adm
GPFile/Site PlanFile/Diary

J:\Shared\subdiv\Dan Gerczak\C2005-068-Pleasure Cove Marina-04.24.07.doc

AA 7406



2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401

OFFICE OF PLANNING AND ZONING

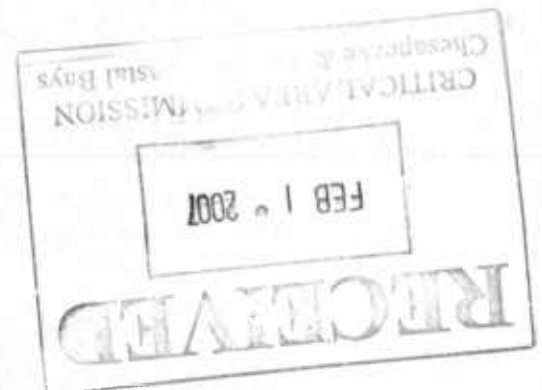
February 13, 2007

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C # 2005-068
Grading Permit # G02011840

Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.



- A. OPZ/Planning- Approval withheld February 1, 2007
 - B. OPZ/Engineering- Approved January 29, 2007
 - C. OPZ/Traffic- Approval withheld February 1, 2007
 - D. OPZ/Utilities Approved January 29, 2007
 - E. OPZ/Landscape- Approved January 30, 2007
 - F. AA County Environmental Health- Approved February 2, 2007
 - G. Fire Marshall Division- Approved January 12, 2007
 - H. Critical Area Commission- Approval withheld January 23, 2007
- I. Issues:
- The structure requires a zoning bulk regulations variance to the 100 ft. setback per the zoning office.
- II. Before approval of the Site Development Plan, the following agency comments must be resolved:
- A. OPZ/Site Planning & Environmental comments dated February 1, 2007
 - B. OPZ/Traffic comments dated February 1, 2007
 - C. Critical Area Commission comments dated January 23, 2007
- III. Adequacies of Facilities issues for items A thru E have been reviewed and are approved subject to any noted conditions.

Mr. Dan Boyd
February 13, 2007
Page 2

- A. Fire Suppression: A fire flow test and report was not required.
- B. Roads: Adequate information to address APF Roads traffic generation has been provided. The TIS information was presented separately in a letter from a recognized traffic consultant and the assumptions were found to be acceptable by the P&Z Officer.
- C. Schools: Residential uses are not proposed. School adequacy is not required for this project.
- D. Utilities: Adequacy of utilities is not applicable. The property is served by private well and septic systems. Health Department must approve for septic and well.
- E. Storm Drains: Storm drainage is adequate. The site has direct tidal discharge into Main Creek.

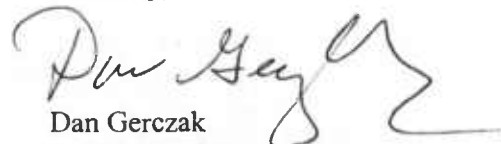
III. Decision:

A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.

B. In accordance with Article 17-4-203 the resubmittal must be made within forty-five (45) days of the date of this letter and must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I and II above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to Nancy McGuckian, Permit Application Center, by April 5, 2007.

If you have any questions regarding this project, please call me at 410-222-7458.

Sincerely,



Dan Gerczak
North Team Planner

Attachments

DWG/skk

cc: Christopher Soldano, Asst. P&Z Officer
North Team: CYO, JAE, JFH
Suzy Schappert, Zoning Administrator
Frank Ward, Nancy McGuckian, PAC
Chuck Yocum, A.A. County Public School
Lt. Wesley Clark, Fire Marshal Division
J. Thomas Gruver, Health Department
Lisa A. Hoerger, Critical Area Commission
OPZ/Adm
GPFile/Site PlanFile/Diary

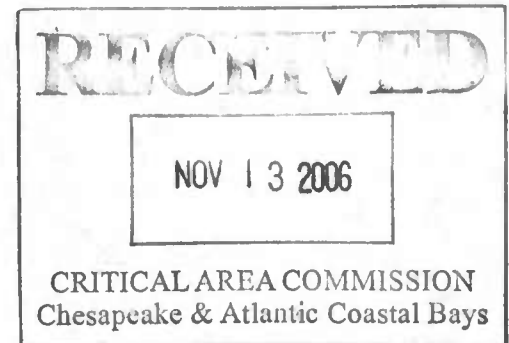
J:\Shared\subdiv\Dan Gerczak\C2005-068-Pleasure Cove Marina-02-01-07.doc

OFFICE OF PLANNING AND ZONING

November 3, 2006

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C#2005-068
Grading Permit # G02011840



Dear Mr. Boyd:

The Site Development Plan for the referenced project has been reviewed by the agencies listed below and copies of their comments are attached.

- A. OPZ/Planning- Approval withheld November 1, 2006
 - B. OPZ/Engineering- Approval withheld October 31, 2006
 - C. OPZ/Traffic- Approval withheld November 2, 2006
 - D. OPZ/Utilities Approved withheld October 31, 2006
 - E. OPZ/Landscape- Approval withheld October 30, 2006
 - F. AA County Environmental Health- Approval withheld October 6, 2006
 - G. Fire Marshall Division- Approval withheld October 31, 2006
 - H. Critical Area Commission- Approval withheld October 6, 2006
- I. Before approval of the Site Development Plan, the following agency comments must be resolved:
- A. OPZ/Site Planning & Environmental comments dated November 1, 2006
 - B. OPZ/Engineering comments dated October 31, 2006
 - C. OPZ/Traffic comments dated November 2, 2006
 - D. OPZ/Utilities comments dated October 31, 2006
 - E. OPZ/Landscaping comments dated October 30, 2006
 - F. AA County Environmental Health comments dated October 6, 2006
 - G. Fire Marshall Division comments dated October 31, 2006
 - H. Critical Area Commission comments dated October 6, 2006
- II. Adequacies of Facilities issues for item A & E must be resolved with an SDP resubmittal. Items B-D are acceptable and will be approved with the final SPD Plan subject to any noted conditions.
- A. Fire Suppression: See Fire Marshall comments dated October 31, 2006.
 - B. Roads: Traffic Impact Study (APF Roads) was acceptable.
 - C. Schools: Residential uses are not proposed. School adequacy is not required for this project.
 - D. Utilities: Utility adequacy not required. Health Department must approve for septic and well.
 - E. Storm Drains: Adequacy of direct tidal outfall and storm drain facilities must be addressed.


D. Boyd
November 3, 2006
Pg. 2

III. Decision:

- A. This office must withhold approval of the Site Development Plan until the issues set forth in Sections I and II have been resolved.
- B. In accordance with Article 17-4-203 the resubmittal must be made within forty-five (45) days of the date of this letter and must include separate packages labeled with the name of the required review agency. Each package is to include a point-by-point response letter addressing the items in section I above, and any other supplemental information necessary for review. Resubmittal in accordance with the attached Resubmittal Cover Sheet must be sent directly to Nancy McGuckian, Permit Application Center, by December 26, 2006.

If you have any questions regarding this project, please call me at 410-222-7458.

Sincerely,



Dan Gerczak, Planner
North Team

Attachments
DWG/skk

cc: Christopher Soldano, Asst. P&Z Officer
Susanne Lockhart, Chief Engineer/OPZ
Nancy McGuckian, PAC
Frank Ward, PAC
Jeffrey Opel, A.A. Soil Conservation District
Chuck Yocum, A.A. County Public Schools
Lt. Wesley Clark, Fire Marshal Division
J. Thomas Gruver, Health Department
Richard Zeller, State Highway Administration
Ellen Sample, Maryland Aviation Administration
Lisa A. Hoerger, Critical Area Commission
Surina Stillman, OPZ/Adm
GPFile/Site PlanFile/Diary

J:\Shared\subdiv\Dan Gerczak\C2005-068-Pleasure Cove Marina-11.2.06.doc

OFFICE OF PLANNING AND ZONING

April 28, 2006

Mr. Danny G. Boyd
Boyd & Dowgiallo, P.A.
7678 Quarterfield Road, Ste. 201
Glen Burnie, MD. 21061

Re: Name: Pleasure Cove Marina
Site Development Plan No. C#2005-068
Grading Permit # G02011840

C05-006 8

Dear Mr. Boyd:

Based upon the information submitted for the above referenced project, this office must withhold Site Development Plan (SDP) approval. The following issues in Item (I) below, must be addressed prior to approval of the SDP:

RECEIVED

JUN 14 2006

I. The agency comments listed below (copies attached) must be addressed with revised SDP:

- A. OPZ/Site Planning & Environmental, comment #1 & 5 dated April 24, 2006
- B. OPZ/Engineering dated April 20, 2006
- C. OPZ/Traffic dated April 19 2006
- D. OPZ/Landscape dated April 20, 2006
- E. Fire Marshall Division dated March 29, 2006
- F. Critical Area Commission dated April 11, 2006
- G. Health Department must review and approve revised SDP

PLANNING AND ZONING
DEVELOPMENT

II. Adequacies of facilities issues for item A - C must be resolved with the revised SDP resubmittal. Items D & E are approved subject to any noted conditions.

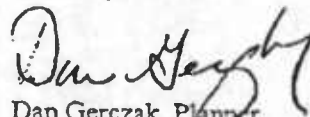
- A. Fire Suppression: See Fire Marshall comments dated March 29, 2006.
- B. Storm Drains: Adequacy of direct tidal outfall and storm drain facilities must be addressed.
- C. Roads: No Traffic Impact Study (APF Roads) provided.
- D. Utilities: Utility adequacy not required. Health Department must approve for septic and well.
- E. Schools: Residential uses are not proposed. School adequacy is not required for this project.

D. Boyd
April 24, 2006
Pg. 2

- III. Each agency submittal package for outstanding Site Development Plan issues shall include a point-by-point response letter addressing the items in Sections I, II & III. The grading permit can be resubmitted with the revised site development plan. Revised SDP submittal shall be made to PAC within forty-five (45) days or by June 9, 2006.

If you have any questions regarding this project, please call me at 410-222-7458.

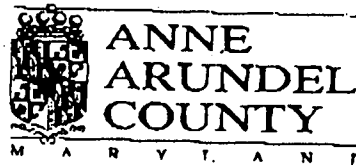
Sincerely,


Dan Gerczak, Planner
North Team

Attachments
DWG/skk

cc: Christopher Soldano, Asst. P&Z Officer
Susanne Lockhart, Chief Engineer/OPZ
Steve Callahan, Plan. Dam/North Team
Nancy McGuckian, PAC
Frank Ward, PAC
Jeffrey Opel, A.A. Soil Conservation District
Chuck Yocum, A.A. County Public Schools
Lt. Wesley Clark, Fire Marshal Division
Pete Puzak, Health Department
Richard Zeller, State Highway Administration
Ellen Sample, Maryland Aviation Administration
Bruce Seerey, North Arundel Hospital
Jean Tinsley, OPZ/Adm
GPFile/Site PlanFile/Diary

J:\Shared\subdiv\Dan Gerczak\C2005-068-Pleasure Cove Marina-04.24.06.doc



Office of Planning and Zoning
Development Division

INTER-OFFICE CORRESPONDENCE

DATE: April 24, 2006

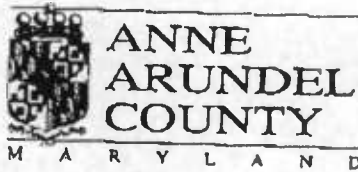
TO: Steve Callahan

FROM: Dan Gerczak, Environmental & Planning Review, Office of Planning & Zoning

SUBJECT: Pleasure Cove Marina, C 2005-0068, G02011840

The submitted Site Development Plan has been reviewed and the following issues must be addressed prior to approval.

- X 1. A variance is required for a non-water dependent structure in the 100 ft. buffer. Please relocate the structure out of the buffer or else obtain a variance. For more information concerning the variance process, please contact the zoning office at 410-222-7437.
- 2. Please address the parking and impervious area calculations to accurately reflect site conditions. Please note that OPZ Engineering and Traffic must accept and verify the impervious area calculations. Please highlight on the plan the areas of impervious reduction. A site visit will be made by the OPZ reviewers.
- 3. Please provide a copy of the proposed architectural profiles of the structure to this office for our files.
- 4. Please forward the forest conservation easement to this office for processing when available.
- X 5. Please forward the critical area report when available.
- 6. The proposed development may require buffer planting mitigation depending on the information and outcomes of comments 1, 2 and 5 above.



Office of Planning and Zoning
Development Division

INTER-OFFICE CORRESPONDENCE

DATE: April 20, 2006

TO: Dan Gerzak, Planner

FROM: Claudia O'Keeffe, Engineer

SUBJECT: Engineering and Utilities Reviews for Pleasure Cove Marina, Pasadena, Maryland; Site Development Plan No. C05-068, G02011840 - Revision A

I have reviewed the above referenced addition for engineering and utilities and have the following comments.

Utilities:

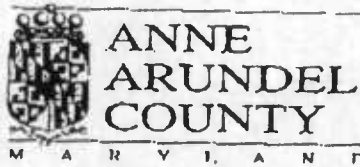
1. The proposed use of the building has changed from boat storage to boat maintenance and repair. At a minimum, restroom facilities will be required for employees within the facility. Health Department approval is required for private well and septic for the proposed development. The proposed well and septic areas must be shown on the plans.
2. The plans appear to show a proposed connection to an existing well, but there are no provisions for wastewater conveyance from the building. Clarify what the water is used for and where the wastewater will go when it leaves the building.

Engineering:

1. Adequacy of storm drain facilities must be addressed. This site does not appear to meet the requirements of Article 17 section 5-701(1) of the County Code for adequacy of storm drain facilities. The onsite drainage system installed by the developer must be capable of conveying through and from the property the design flow of storm water runoff to an acceptable outfall. The adequacy of the underdrain to provide dewatering for the proposed bioretention area should be investigated.
2. Per section 3.4.2 of the State SWM Manual, overflow for the ten year storm shall be provided to a non-erosive outlet point. A flow regulator/diversion structure shall be provided to divert the water quality volume to the filtering practice.
3. The stormwater management design includes one foot of storage above the bioretention area. However, based on the profile shown on the plans, it is physically impossible to achieve one foot of storage of water along the surface of the proposed stormwater management device. The profile shows the swm device sloping down towards the water, making ponding of water within the device impossible.
4. A geotechnical investigation performed in accordance with the County SWM Manual is required to verify the soil type and permeability and to establish the location of the water table.
5. Stormwater management must be at least 10 feet from any structure, 20 feet if upgradient. The swm device shown on the plans does not meet this requirement.
6. Stormwater management must be provided for the entire impervious area within the LOD, including paved areas adjacent to the proposed building. The total impervious area being treated should be revised to include the paved areas on the south and west sides of the building that are within the LOD. Show how runoff from these areas is conveyed to the stormwater management device.
7. The calculations for water quality volume and recharge volume in the swm report use the wrong Rv value.
8. Runoff entering the proposed bioretention device will enter from both sides of the device, but the section shown on the plans shows details for a device with runoff entering on one side only. The detail should be revised to provide the necessary details (pretreatment, etc.) on both sides of the bioretention device.

9. The dimensions shown on the bioretention section on sheet 5 of the plans do not agree with one another (i.e. the same dimension is 9' in at the top of the detail and 7' at the bottom of the detail) and do not agree with the dimensions called out in the swm report (i.e. 1.1 ft recharge storage depth on the plans vs. 2.9 ft in the calcs).
10. There is no gravel diaphragm shown on the plans. The gravel curtain shown on the bioretention detail is not the same as a gravel diaphragm.
11. The depth of the bioretention device used in the calculations should be taken as the total depth of the device, from the top of the planting soil to the top of the underdrain. The calculations should be revised to match the actual depth of the device.
12. Per section 3.4.4 of the State SWM Manual, the entire treatment system shall temporarily hold at least 75% of the water quality volume prior to filtration. This should be 75% of the total WQv, not 75% of the WQv less recharge volume.
13. Per Appendix C, section C.2.4.1 of the State SWM Manual, the coefficient of permeability (k) for bioretention systems is 0.5 ft/day. The calculations and plans should be revised accordingly.

I am withholding approval of the site development plan until the above comments are addressed.



Office of Planning and Zoning
Development Division
INTER-OFFICE CORRESPONDENCE

DATE: April 19, 2006

TO: Dan Gerczak - Planning Review

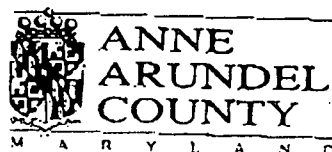
FROM: Jane Elberti - Traffic Review

SUBJECT: PLEASURE COVE MARINA
C#2005-037, G02011840 - revised Site Development Plan
tax map 14, block 18, parcel 73

The subject revised Site Development Plan for grading/building permit submittal has been reviewed for traffic engineering requirements and the following comments / recommendations are provided:

1. As previously stated: Adequate information to address APF Roads traffic generation has NOT been provided. The response letter submitted is just from the engineering company not the traffic consultant. The statement "no impact" without any data to justify that statement is NOT acceptable to address Article 17 section 5-401. Information describing the current and proposed number of boat spaces is required (with the corresponding ITE rates and calculations and all other site generation). Additionally, the revised plan indicates that there will be a "maintenance and repair building" which is new information. These requirements will allow assessment of potential vehicular trip increases. The TIS information must be presented separately in a TIS report or letter with data back-up from a recognized traffic consultant.
2. As previously stated: Expand the parking calculation chart: provide 5 trailer spaces per water access ramp / boat launch area. Trailer spaces are required based on the site plan.
3. As previously stated: Label the GRAVEL parking areas with the location of parking spaces (and how the spaces will be designated on the gravel expanse as painted spaces will not be possible), label ALL parking space and drive aisle dimensions (the drive aisle by the pool and on the water side of the restaurant are not labeled and do not meet minimum widths. Differentiate between vehicle spaces and trailer spaces (see comment #2).
4. Fire Lanes fire lanes must meet fire safety criteria at building permit.

Traffic withholds SDP approval until the above comments 1 - 3 are addressed.



Office of Planning and Zoning
Development Division

INTER-OFFICE CORRESPONDENCE

DATE: May 1, 2006
TO: Steve Callahan, OPZ/Planner, North Team
FROM: John Hilley, OPZ/Planner, North Team
SUBJECT: Pleasure Cove Marina, C05-0068, G02011840
Landscape Review Comments

Full compliance with the Landscape Manual requirements and purpose is required as shown in the Introduction, and specifically in the additional comments as listed below:

1. Building façade requires 50 percent foundation planting.
2. When expansion involves a 50 percent increase in gross square foot area, the property must be landscaped (screening and interior planting) in accordance with the Manual.
3. Request for modification to landscape requirements of "Property Line Buffers" is being evaluated by the Planning and Zoning Officer and a separate letter will be issued in response to this request.
4. Provide landscape buffer plantings adjacent to the Herson property line.
5. Is zoning line between MB and R2 at correct location at the Herson property line?
6. Provide planting buffer at the southeast corner of the site to screen the existing dwelling from proposed development.

Cc: Dan Gerczak
Lea Kubeja
Nancy McGuckian

J:\Shared\subdiv\John.H\Pleasure Cove Marina, L-S comments,042006.doc


Daig



INTEROFFICE CORRESPONDENCE
Fire Department

Janet S. Owens, County Executive
Ronald D. Blackwell, Fire Chief

TO: Nancy McGuckian, MS 6001

FROM:  Lt. N. Wesley Clark, Fire Marshal Division

DATE: March 29, 2006

SUBJECT: Project Name: Pleasure Cove Marina
Site Development Plan No. C05-0068
Site Development Plan Review

Approval is withheld with the following comments:

1. Clarify the location of the fire hydrant or water source within 100 feet of the sprinkler connection. If drafting is to be used, designate this location as a fire lane.
2. Turn radius for fire lanes must provide at least 38 feet inside radius while providing 20 feet width. Clarify turn radius for the fire lane at the north-east corner of the building.

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ron Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401

(410) 260-3460 Fax: (410) 974-5338

www.dnr.state.md.us/criticalarea/

April 11, 2006

Mr. Dan Gerczak
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6305
Annapolis, Maryland 21401

Re: Pleasure Cove Marina
C 05-0068, G 02011840

Dear Mr. Gerczak:

I have received a resubmittal for the above-referenced site plan. The applicant has addressed most of the comments of my last letter dated January 23, 2006. I have outlined my remaining comments below.

1. The minimum forest conservation easement for Critical Area purposes maintains 30% of the existing forested area. The plan submitted shows an area that protects 15% of the existing forest area. Please have the applicant address this issue.
2. The applicant indicated that they will consult with the Department of Natural Resources (DNR) concerning the January 6, 2006 comment letter that indicated the site may support two threatened and endangered plant species. Please have the applicant provide written documentation of DNR's response.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Lisa A. Hoerger".

Lisa A. Hoerger
Natural Resources Planner

cc: AA 71-04

BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

March 10, 2010

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina
C2005-068
G02011840
SWM Concept Plan

Attn: Mr. Larry Tom

Dear Mr. Tom:

On behalf of our client, Pleasure Cove Marina, LLC, owner of the above-referenced property, we are submitting herein a SWM Concept Plan. The purpose of this plan is to show the removal of the existing restaurant from the approved Site Development Plan, and the addition of a new restaurant and a new two-story marina office, supply store, and clubhouse ("multi-use building") to replace the structure recently removed from the property as part of construction of the approved boat maintenance buildings.

The proposed plan includes the construction of a new restaurant building in front of the pool, with its roof at grade with the pool deck, and the construction of the multi-use building on part of the site of the existing restaurant. The existing gravel parking area in front of the existing restaurant and pool will be paved and graded to drain to proposed micro-bioretenention in the center of the realigned parking lot. The main entry roadway will be re-graded to minimize slope and improve runoff control near the waterfront.

As described in the Concept SWM Report, this plan meets ESD goals by providing stormwater management and retention for previously unmanaged impervious areas. In addition to micro-bioretenention, the proposed practices include a green roof on the multi-use building, enhanced filters, and infiltration berms for management of runoff from the existing roadway.

This plan represents a reorganization of the existing site uses. The size of the restaurant, which is currently approved for seating of 324 patrons, will be significantly reduced. The interior of the restaurant is projected to seat 134, and the area will be approximately 3,913 sq ft. An unknown quantity of seating will be provided on the roof. The multi-use building will provide services for the marina and its members that were previously located in the building opposite the restaurant. The complete list of these uses includes the marina offices, a small marine supply store, an exercise room, and meeting space. The second floor will be used for assembly space for members of the marina. The building will have an area of approximately 6600 sq ft on each floor.

The following items are included in this submittal:

1. Ten (10) copies of this letter of explanation.
2. Ten (10) copies of the SWM Concept Plan (5 sheets).
3. Four (4) copies of the Concept SWM Report.
4. One (1) copy of the Interim SWM Concept Plan checklist.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,

Boyd & Dowgiallo

By:

Danny G. Boyd





B&D ~ ENVIRONMENTAL SERVICES, LTD.

7678 QUARTERFIELD ROAD • SUITE 102 • GLEN BURNIE, MARYLAND 21061
410-863-5901 • FAX: 410-863-8844

June 15, 2009

Dan Kane
AACo_Inspections & Permits
2664 Riva Road
PO Box 6675
Annapolis, MD 21401

RE: Pleasure Cove Marina

Subject: #G02011840

Dear Mr. Kane,

On behalf of our client, Pleasure Cove Marina, LLC, developer of the above-referenced property, we are resubmitting the Grading Permit application and the responses to the comments included with the SDP Approval letter signed by Mr. Larry Tom and dated May 11, 2009.

The attached Grading Plans have been revised to match the approved SDP. This resubmittal also addresses several comments by the Critical Area Commission, to which resubmittal is being made under separate cover. As a result of discussions with Amber Widmeyer at CAC, Bioretention Area #2 has been made slightly narrower and longer to keep it out of the 25 ft buffer. This revision has been incorporated into the relevant plan view and profile.

The Critical Area Commission in comment #7 requests mitigation of land area removed by dredging. We have identified 1,524 sq ft of land existing in 2003 that has been or will be removed as part of the proposed work. This area will require mitigation at a ratio of 2:1. We proposed that this mitigation be provided by an additional fee in lieu of planting.

Our responses to agency comments included in the SDP Approval letter of May 11, 2008 are as follows:

OPZ/AACo Violation/Planning (Dan Gerczak)

1. We understand that all reforestation planting fees, bonds, and Forest Conservation Easement documentation must be processed prior to permit approval.
2. We do not understand your comment; according to the Ms. Dixon's letter of 10/20/08 the amended mitigation fees for Area A, B, & C total \$92,885. The amended reforestation bonds for these same areas total \$40,295 and the on-site mitigation planting totals 33,579 sf (A: 21,538 sf, B: 3,241 sf, C: 6 shade trees, 42 shrubs, and 11,451 sf of emergent forest.) We acknowledge that an inspection fee of \$2,820.65 (7% of the \$40,295 bond) will be required.
3. Sheet 25/25 contains only two charts, neither of which references the numbers you mention: The Critical Area Violation Bonding Notation chart was requested to reconcile the reforestation bond yet-to-be-paid with the reforestation bond already-paid. Ms. Krinetz had requested this chart to clarify the bonding of Area B because this violation was conducted in an area that had already been proposed for shoreline planting; as such this area had already been bonded. The Mitigation fees were to be paid based upon Ms. Dixon's letter of 10/20/08 and needed no reconciliation. The Critical Area Violation Planting Reconciliation chart was also requested by Ms. Krinetz to clarify the information that is graphically presented elsewhere in the Planting Plan as to how much and where the violation area plantings have been proposed.

OPZ/Environmental/Planning (Dan Gerczak)

1. We acknowledge the water-dependent status of the forklift well and that a variance will not be required for slope disturbance. The State and Army Corps approvals have already been obtained and are listed on sheet 1/25.
2. The "proposed" woodland clearing with development was entirely part of the violation, and as such is being mitigated as part of resolving the violation issues.
3. The \$35,437 bond was collected to bond the shoreline plantings. These areas included both the 25' buffer plantings and the mitigation required for the development within the 100' buffer related to the two proposed maintenance buildings. A note was added to the bottom of the Critical Area Buffer Planting Mitigation and Reconciliation Calculations (sheet 23/25) prior to the last submittal to clarify that the shoreline calculations had been approved and the plantings bonded.
4. The access walk in the easement is a wooden walk and is labeled as such. The correct boundaries of the easements have been shown, and no paved walks lie within them.

OPZ/Planning & Zoning (Dan Gerczak)

1. There is no boat ramp existing or being proposed on this plan, therefore no trailer spaces are required. OPZ/Traffic has approved the parking as shown on the last submittal.
2. We understand that the portable boat racks were granted in 1997 by then Planning & Zoning Director Frank Ward as shown on the accompanying letter.
3. All of the existing dry storage racks will be removed with the proposed development.
4. The buildings being proposed are only for the maintenance and repair of boats, not storage.

OPZ/Landscaping (Dan Gerczak)

1. We note the approval of the Landscape Plan.

Critical Area Commission (Amber Widmayer)

1. The Site Analysis has been revised to reflect the two different Critical Area classifications: RCA and LDA.
2. So noted.
3. The bioretention area has been removed from the 25' buffer. The limit of disturbance for the overall project includes stabilization of the slope in this area down to the waterline. The proposed check dam is to provide outfall control and is being installed in place of an existing degraded rock apron at the low point of the existing parking lot.
4. The buffer limits have been revised.
5. The 25' buffer limit has been revised.
6. The number referenced (15,648 sf) is included in the total mitigation planting area that has been put under recorded easement (29,531 sf). This easement includes planting of the 25' buffer that was not previously planted as shown on in the calculations on the chart *Critical Area Buffer Planting Mitigation and Reconciliation Calculations* on sheet 23/25. The plantings are in multiple areas throughout this easement as shown on sheets 22/25 and 23/25.
7. Aside from the two dredged areas, 812 sf by the fuel pier and 712 sf in the forklift well, all of the landside locations referenced are a part of the limit of disturbance shown on the plans and are included in the proposed mitigation previously shown. Mitigation for the two dredged areas is proposed as fee-in-lieu.

8. The activities specifically related to the installation of the proposed structures, included limited dredging for the final pier/bulkhead alignment were explicitly approved during ACE's review of 05-10101 permit application. ACE's subsequent determination about the maintenance dredging does not address these activities. The pier/bulkhead reconfiguration has been completed with the exception of the construction of the forklift well and adjacent marshland; as these areas are subject to the Stop-Work Order.
9. The 20,723 sf decrease in impervious coverage is due primarily to 22,362 sf of disused gravel boat parking areas to be removed from the R2 zoning north of the proposed buildings. The remainder of the project approximately balances the new roadway with landscaping areas created as part of the project.
10. This information is provided at the request of the Soil Conservation District, and represents the portion of the LOD that is vegetated.
11. Mitigation for the additional disturbance for the road is already being provided at a ratio of at least 2:1. Anne Arundel County has determined that a variance to the slope disturbance is not required.
12. Forest Conservation Parcel #7 is providing reforestation on Parcel 211 adjacent to the marina property for clearing that occurred on that parcel.
13. The LOD is required to encompass all activity proposed on the site. Permission was obtained to remove the trees at the pool area; as a result Anne Arundel County requested that the LOD be extended on the revised Site Development Plan to include this work. The second area referenced encompasses a *temporary* sediment and erosion control structure (already installed per County request) that is shown on sheet 4/25 with other temporary or interim work. It does not appear on sheet 5/15 or 8/25 since these sheets show the final improvements.
14. The requested information has been added to the Critical Area Notes on sheet 1/25 and sheet 16/25.
15. The 14,347 sf of clearing now listed is the area of the onsite forest clearing violation. No additional clearing is proposed either inside or outside of the buffer.
16. The Plant List has been revised to consist of natives. The structure of the Planting Plan has not been revised. The majority of the project is used as a commercial site therefore mitigation easements were not based upon plant counts; for each square foot of required buffer mitigation a square foot of land was planted and placed under easement. The violation mitigation planting square footage amounts are based upon the agreement reached with Anne Arundel County and set forth in the October 8, 2008 letter from Ms. Betty Dixon, Director of Inspection and Permits.

In accordance with the "Grading Permit Resubmission Checklist," we have included the following:

1. Department of Inspections and Permits:

- a. One copy of this Letter of Explanation for the project.
- b. One copy of the revised GSC Plan.
- c. One copy of the completed *Grading and Sediment Control Computation Sheets*
- d. N/A – The revisions do not affect changes to the grading permit fee.

2. OP&Z/Environmental/Zoning:

- a. Two copies of this Letter of Explanation for the project.
- b. Two copies of the revised GSC Plan.

3. OP&Z/Engineering:

- a. Two copies of this Letter of Explanation for the project.

- b. Two copies of the revised GSC Plan
- c. One copy of the completed *Grading and Sediment Control Computation Sheets*

4. Soil Conservation District:

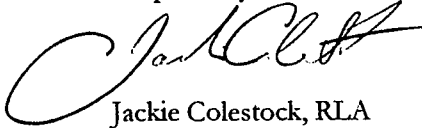
- a. One copy of this Letter of Explanation for the project.
- b. N/A – the *SCD Plan Submittal Checklist* was submitted with the initial submittal for the revisions to the approved Grading Permit.
- c. No marked prints were returned with the most recent review of this project. The grading plans (sheets 1-9) submitted herewith incorporate changes to sediment protections requested by the reviewer.
- d. Three copies of the revised GSC Plan.

5. State Highway Administration:

- a. One copy of this Letter of Explanation for the project.
- b. One copy of the revised GSC Plan.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Respectfully,



Jackie Colestock, RLA
President
B&D Environmental Services, LTD

jjc/JJC

05.09.1997 14:43

410-222-7474

BOYD & DOWGIALLO, P.A.

PLAN & ENFORCEMENT

PAGE 01

PAGE 01

BOYD & DOWGIALLO, P.A.

Engineers & Surveyors

405 Headquarters Drive, Suites 7 & 8
Annapolis, Maryland 21108

(410) 987-2500

May 22, 1997



Kevin Dooley
Planning and Code Enforcement
Zoning Division
P O Box 6675
Mailstop 6301
Annapolis, Maryland 21401

Re: Pleasure Cove Marina Dry Land Storage

Dear Mr. Dooley,

Post-it brand fax transmittal memo 757		* of pages: 757	
To: Dan Boyd		From: Kevin Dooley	
Boyd & Dowgiallo, P.A.		S.D. Co. Zoning	
Dept:		Phone: 410-222-7474	
410-987-9324		410-222-7474	

On behalf of Mr. Jerry Herson and myself, we thank you for your time spent in discussion of possible dry land storage for boats patronizing the Pleasure Cove Marina.

As we explained to you, the intent is to place metal racks on land outside of the critical area buffer. The racks are intended to be portable and will not be secured to the ground by any method such as a concrete footing. Also as discussed, removable covers such as a canvas top or a plexiglass roof may be placed on the structures.

After our discussions, it is our understanding that we are allowed to place the covered dry storage as herein described as long as we comport with article 28, section 5-114 of the Anne Arundel County Code, recognizing specifically that we will have a twenty-five foot setback to any adjoining property line and will be subjected to a maximum lot coverage as described in section 5-114.

After discussion with Mr. Frank Ward, we also are operating under an understanding that no building permit is required for the racks since they are portable and not to be anchored to the ground.

By copy of this letter to Frank Ward, I am asking that you and Mr. Ward advise if Mr

05/29/1997 08:07

387-8714

BOYD & DOWGIALLO, P.A.

PAGE 03.6

05/29/1997 14:49

410-222-7470

PLAN & ENFORCEMENT

PAGE 02

BOYD & DOWGIALLO, P.A.

Herson and myself are of any misunderstanding. We otherwise will begin contacting vendors who may supply the described racks

Once again, thank you for your assistance in this matter.

Very Truly Yours,


Danny G. Boyd

Frank W.

John Herson

Harry Blumenthal

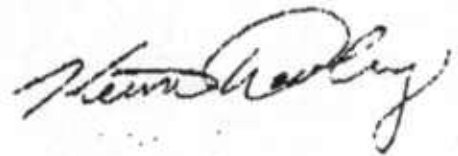
5-29-97

2002

32246 wpt

Dear Mr. Boyd:

THE PERSONAL RACKS WITH REMOVABLE COVERS ARE PERMITTED
AS COVERED DRY STORAGE SUBJECT TO THE CONDITIONS OF
SECTION 5-114(17) OF THE ZONING REGULATIONS





B&D ~ ENVIRONMENTAL SERVICES, LTD.

7678 QUARTERFIELD ROAD • SUITE 102 • GLEN BURNIE, MARYLAND 21061
410-863-5901 • FAX: 410-863-8844

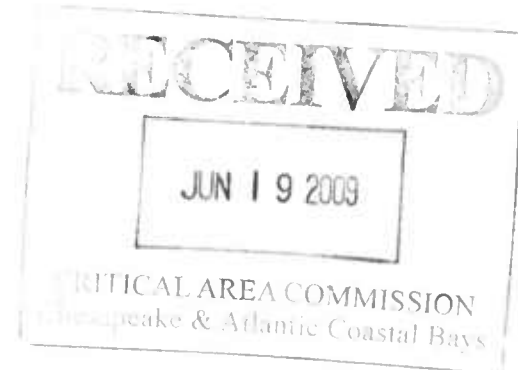
June 15, 2009

Amber Widmayer
Critical Area Commission Chesapeake & Atlantic Coastal Bays
1804 West Street, Ste 100
Annapolis, MD 21401

RE: Pleasure Cove Marina

Subject: AACo #G02011840

Dear Ms. Widmayer,



On behalf of our client, Pleasure Cove Marina, LLC, developer of the above-referenced property, we are submitting a copy of the Grading Plans that accompanied the Grading Permit application made to Anne Arundel County on May 15, 2009.

The attached Grading Plans have been revised to match the approved SDP. This resubmittal also addresses several comments by the Critical Area Commission, to which resubmittal is being made under separate cover. As a result of the discussions you had with Joe Fisher of Boyd & Dowgiallo, PA, Bioretention Area #2 has been made slightly narrower and longer to keep it out of the 25 ft buffer. This revision has been incorporated into the relevant plan view and profile.

The Critical Area Commission in comment #7 requests mitigation of land area removed by dredging. We have identified 1,524 sq ft of land existing in 2003 that has been or will be removed as part of the proposed work. This area will require mitigation at a ratio of 2:1. We proposed that this mitigation be provided by an additional fee in lieu of planting.

Our responses to agency comments included in the SDP Approval letter of May 11, 2008 are as follows:

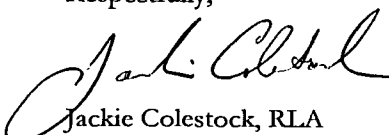
Critical Area Commission

1. The Site Analysis has been revised to reflect the two different Critical Area classifications: RCA and LDA.
2. So noted.
3. The bioretention area has been removed from the 25' buffer. The limit of disturbance for the overall project includes stabilization of the slope in this area down to the waterline. The proposed check dam is to provide outfall control and is being installed in place of an existing degraded rock apron at the low point of the existing parking lot.
4. The buffer limits have been revised.
5. The 25' buffer limit has been revised.
6. The number referenced (15,648 sf) is included in the total mitigation planting area that has been put under recorded easement (29,531 sf). This easement includes planting of the 25' buffer that was not previously planted as shown on in the calculations on the chart *Critical Area Buffer Planting Mitigation and Reconciliation Calculations* on sheet 23/25. The plantings are in multiple areas throughout this easement as shown on sheets 22/25 and 23/25.
7. Aside from the two dredged areas, 812 sf by the fuel pier and 712 sf in the forklift well, all of the landside locations referenced are a part of the limit of disturbance shown on the plans and are included in the proposed mitigation previously shown. Mitigation for the two dredged areas is proposed as fee-in-lieu.

8. The activities specifically related to the installation of the proposed structures, included limited dredging for the final pier/bulkhead alignment were explicitly approved during ACE's review of 05-10101 permit application. ACE's subsequent determination about the maintenance dredging does not address these activities. The pier/bulkhead reconfiguration has been completed with the exception of the construction of the forklift well and adjacent marshland; as these areas are subject to the Stop-Work Order.
9. The 20,723 sf decrease in impervious coverage is due primarily to 22,362 sf of disused gravel boat parking areas to be removed from the R2 zoning north of the proposed buildings. The remainder of the project approximately balances the new roadway with landscaping areas created as part of the project.
10. This information is provided at the request of the Soil Conservation District, and represents the portion of the LOD that is vegetated.
11. Mitigation for the additional disturbance for the road is already being provided at a ratio of at least 2:1. Anne Arundel County has determined that a variance to the slope disturbance is not required.
12. Forest Conservation Parcel #7 is providing reforestation on Parcel 211 adjacent to the marina property for clearing that occurred on that parcel.
13. The LOD is required to encompass all activity proposed on the site. Permission was obtained to remove the trees at the pool area; as a result Anne Arundel County requested that the LOD be extended on the revised Site Development Plan to include this work. The second area referenced encompasses a *temporary* sediment and erosion control structure (already installed per County request) that is shown on sheet 4/25 with other temporary or interim work. It does not appear on sheet 5/15 or 8/25 since these sheets show the final improvements.
14. The requested information has been added to the Critical Area Notes on sheet 1/25 and sheet 16/25.
15. The 14,347 sf of clearing now listed is the area of the onsite forest clearing violation. No additional clearing is proposed either inside or outside of the buffer.
16. The Plant List has been revised to consist of natives. The structure of the Planting Plan has not been revised. The majority of the project is used as a commercial site therefore mitigation easements were not based upon plant counts; for each square foot of required buffer mitigation a square foot of land was planted and placed under easement. The violation mitigation planting square footage amounts are based upon the agreement reached with Anne Arundel County and set forth in the October 8, 2008 letter from Ms. Betty Dixon, Director of Inspection and Permits.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Respectfully,


Jackie Colestock, RLA
President
B&D Environmental Services, LTD

jjc/JJC

BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

7678 Quarterfield Road, Suite 201

Glen Burnie, Maryland 21061

(410) 863-1234

Fax: (410) 863-1235

LETTER OF TRANSMITTAL

DATE	4-9-09	JOB NO.	446
ATTENTION			
RE			
Pleasure Cove Marina			
C 2005-068			

TO

Critical Area Commission

c/o Chris Soldano

OPZ

GENTLEMEN:

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

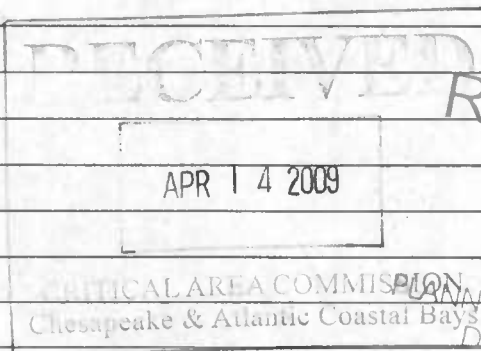
- ☐ Shop drawings ☐ Prints ☒ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATE	NO.	DESCRIPTION
1		1	SDP
1		1	Revised pollutant removal computations
1		2	MDE / ACE permits

THESE ARE TRANSMITTED as checked below

- ☐ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☒ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☒ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 20 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS SDP w/ notes added per CAC comments / requests.



RECEIVED

APR 09 2009

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays
PLANNING AND ZONING
DEVELOPMENT

REC'D BY: _____

COPY TO: _____

SIGNED: _____

Joseph M. Di...

Worksheet A: Standard Application Process

Calculating Pollutant Removal Requirements¹

Step 1: Calculate Existing and Proposed Site Imperviousness

A. Calculate Percent Imperviousness

- 1) Site Area within the Critical Area IDA, A = 21.48 acres LPA/RCA
- 2) Site Impervious Surface Area, Existing and Proposed, (See Table 4.1 for details)

	(a) Existing (acres)	(b) Proposed (acres)
Roads	_____	_____
Parking lots	_____	_____
Driveways	_____	_____
Sidewalks/paths	_____	_____
Rooftops	_____	_____
Decks	_____	_____
Swimming pools/ponds	_____	_____
Other	_____	_____
Impervious Surface Area	<u>7.00</u>	<u>6.53</u>

3) Imperviousness (I)

$$\begin{aligned}\text{Existing Imperviousness, } I_{\text{pre}} &= \text{Impervious Surface Area / Site Area} \\ &= (\text{Step 2a}) / (\text{Step 1}) \\ &= \left(\frac{7.00}{21.48} \right) \\ &= \underline{32.6} \%\end{aligned}$$

$$\begin{aligned}\text{Proposed Imperviousness, } I_{\text{post}} &= \text{Impervious Surface Area / Site Area} \\ &= (\text{Step 2b}) / (\text{Step 1}) \\ &= \left(\frac{6.53}{21.48} \right) \\ &= \underline{30.4} \%\end{aligned}$$

B. Define Development Category (circle)

- 1) New Development: Existing imperviousness less than 15% I (Go to Step 2A)
- 2) Redevelopment: Existing imperviousness of 15% I or more (Go to Step 2B)
- 3) Single Lot Residential Development: Single lot being developed or improved; single family residential development; and more than 250 square feet of impervious area and associated disturbance (Go to Section 5, Residential Approach, for detailed criteria and requirements).

¹ NOTE: All acreage used in this worksheet refers to areas within the IDA of the Critical Area only.

Step 2: Calculate the Predevelopment Load (L_{pre})

A. New Development

$$\begin{aligned} L_{pre} &= (0.5) (A) \\ &= (0.5) (\quad) \\ &= \quad \text{lbs /year of total phosphorus} \end{aligned}$$

Where:

$$\begin{aligned} L_{pre} &= \text{Average annual load of total phosphorus exported from the site prior to development (lbs/year)} \\ 0.5 &= \text{Annual total phosphorus load from undeveloped lands (lbs/acre/year)} \\ A &= \text{Area of the site within the Critical Area IDA (acres)} \end{aligned}$$

B. Redevelopment

$$\begin{aligned} L_{pre} &= (R_v) (C) (A) (8.16) \\ R_v &= 0.05 + 0.009 (I_{pre}) \\ &= 0.05 + 0.009 (\underline{32.6}) = \underline{.343} \\ L_{pre} &= (\underline{.343}) (\underline{0.30}) (\underline{21.48}) (8.16) \\ &= \underline{18.0} \text{ lbs/year of total phosphorus} \end{aligned}$$

Where:

$$\begin{aligned} L_{pre} &= \text{Average annual load of total phosphorus exported from the site prior to development (lbs/year)} \\ R_v &= \text{Runoff coefficient, which expresses the fraction of rainfall which is converted into runoff} \\ I_{pre} &= \text{Pre-development (existing) site imperviousness (i.e., } I = 75 \text{ if site is 75\% impervious)} \\ C &= \text{Flow-weighted mean concentration of the pollutant (total phosphorus) in urban runoff (mg/l) = 0.30 mg/l} \\ A &= \text{Area of the site within the Critical Area IDA (acres)} \\ 8.16 &= \text{Includes regional constants and unit conversion factors} \end{aligned}$$

Step 3: Calculate the Post-Development Load (L_{post})**A. New Development and Redevelopment:**

$$L_{\text{post}} = (R_v) (C) (A) (8.16)$$

$$R_v = 0.05 + 0.009 (I_{\text{post}})$$

$$= 0.05 + 0.009 (30.4) = .324$$

$$L_{\text{post}} = (.324) (.030) (21.48) (8.16)$$

$$= 17.0 \text{ lbs/year of total phosphorus}$$

Where:

L_{post} = Average annual load of total phosphorus exported from the post-development site (lbs/year)

R_v = Runoff coefficient, which expresses the fraction of rainfall which is converted into runoff

I_{post} = Post-development (proposed) site imperviousness (i.e., $I = 75$ if site is 75% impervious)

C = Flow-weighted mean concentration of the pollutant (total phosphorus) in urban runoff (mg/l) = 0.30 mg/l

A = Area of the site within the Critical Area IDA (acres)

8.16 = Includes regional constants and unit conversion factors

Step 4: Calculate the Pollutant Removal Requirement (RR)

$$RR = L_{\text{post}} - (0.9) (L_{\text{pre}})$$

$$= (17.0) - (0.9) (18.0)$$

$$= 0.8 \text{ lbs/year of total phosphorus}$$

Where:

RR = Pollutant removal requirement (lbs/year)

L_{post} = Average annual load of total phosphorus exported from the post-development site (lbs/year)

L_{pre} = Average annual load of total phosphorus exported from the site prior to development (lbs/year)

Step 5: Identify Feasible BMP(s)

Select BMP Options using the screening matrices provided in the Chapter 4 of the 2000 Maryland Stormwater Design Manual. Calculate the load removed for each option.

BMP Type	(L_{post})	x	(BMP_{RE})	x	(% DA Served) =	LR
I-1	17.0	x	65%	x	5.6 5.6	= 0.6 lbs/year
F-6	17.0	x	50%	x	12.8	= 1.1 lbs/year
F-2	17.0	x	50%	x	13.4	= 1.1 lbs/year
		x		x		= lbs/year
Load Removed, LR (total) =						2.8 lbs/year
Pollutant Removal Requirement, RR (from Step 4) =						0.8 lbs/year

Where:

Load Removed, LR	=	Annual total phosphorus load removed by the proposed BMP (lbs/year)
L_{post}	=	Average annual load of total phosphorus exported from the post-development site (lbs/year)
BMP_{RE}	=	BMP removal efficiency for total phosphorus, Table 4.8 (%)
% DA Served	=	Fraction of the site area within the critical area IDA served by the BMP (%)
RR	=	Pollutant removal requirement (lbs/year)

If the Load Removed is equal to or greater than the Pollutant Removal Requirement computed in Step 4, then the on-site BMP complies with the 10% Rule.

Has the RR (pollutant removal requirement) been met? ☐ Yes ☐ No

Initial Structural Treatment:

Bioretention #1 : 2.49 ac (DA #3) 12.8%
 #2 : 0.27 ac (DA #4)
 Infiltration : 1.20 ac (DA #2) 5.6%
 Sand Filter #1 : 1.80 ac (DA #1)
 #2 : 0.67 ac (DA #8) 13.4%
 #3 : 0.40 ac (share of DA #9)

Remainder of site is outside limits of disturbance + does not drain to BMP. See sheet 2 of 25 for drainage patterns.

BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

February 23, 2009

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina
G02011840
C# 2005-068

Attn: Mr. Dan Gerczak

Dear Mr. Gerczak:

On behalf of our client, Pleasure Cove Marina LLC, owner of the above-referenced property, we are submitting herewith revised Site Development Plans. These revisions reflect changes to the previously approved reforestation plans pursuant to instructions concerning Compliance Case #E-2008-0357 from Inspections and Permits dated October 20, 2008. Plans are included for MDE, USACE, and the Critical Area Commission, which did not receive plans with the SDP revision in July 2008.

The revised plans contain a reference to a building permit for tidal wetland to be constructed on the shoreline of the adjacent Parcel 211 as part of mitigation required with the otherwise-completed pier work on the subject parcel. This work has the required MDE/USACE permit. Access for construction will be obtained through the subject property within the limits of disturbance shown under G02011840 following issuance of that grading permit. Submittal of this building permit should be occurring during the SDP review period. Copies of the State/Federal permit are included herewith for the planner and for the state and federal agencies.

The comments dated August 14, 2008 are addressed as follows:

OPZ/Environmental (Dan Gerczak)

1. A small area of slopes greater than 15% was disturbed by removal of trees. These slopes have been stabilized under the revised site development and grading plans. The average slope will be reduced below the threshold for steep slopes (15%) by installation of the bulkhead and forklift access road. We do not believe that a variance is required because no structures are proposed in the area. Please also note that an access route outside of the previously existing 15% slopes is available--to the north of the location chosen--but that this route is longer and would therefore create more impervious area. That location has been proposed for the replanting required under the clearing violation.
2. The planting quantities for the clearing violation and the associated fees are detailed on sheet 25 of the SDP. The total planting requirements are referenced in the general notes on the SDP and grading permit cover sheets.

3. A total of 7,390 sq ft of new impervious surface has been added to the 100 ft Critical Area buffer by the forklift access road. Of this, 5,378 sq ft is already accounted for within Area A of the Critical Area Violation and is therefore mitigated with the plantings and fees for Area A. The remaining 2,012 sq ft of new impervious surface will be mitigated, as per the previous comment, with a fee-in-lieu in the amount of \$1.80 per square foot, or \$3,621.60. An addendum reflecting this information has been added to the Critical Area Buffer Planting Mitigation and Reconciliation Calculations chart (SDP sheets 1 & 23 of 25).
4. The Critical Area mitigation calculations table has been updated.
5. The proposed violation mitigation planting in conservation parcel 1 has been assessed as being in part independently rejuvenating forest and has been accepted as by the County forester as reforested area for the purposes of mitigation calculations, with no further replanting requirement. This area remains within the previously executed forest conservation easement.
6. The survey identifying sand and bare earth in areas previously labeled as gravel did not find that the proposed realignment of impervious areas will increase the total site impervious area. The proposed development plan will still result in an increase in site vegetation since most of these sand/earth areas were already designated as locations for removal of impervious area.
7. A single paved access walk was previously proposed in the area intended for conservation easement. This walk has been installed as an open wooden deck, which may be permissible in conservation area. Pursuant to the meeting of Feb. 10, OPZ will instruct this office as to whether the conservation area must be revised prior to resubmittal of the revised grading permit. In the event of a revision the applicable reforestation area would be moved to FCA parcel #8. Other accesses to the waterfront in the vicinity of the conservation area are within strips excluded from the executed conservation area for the purpose of preserving access.
8. There is and was no protected vegetation in the noted areas, which are either existing grass or gravel and in general have previously been used for vehicle traffic. Grading is proposed along Main Creek to reduce slope to an acceptable gradient, and along Perry Cove to create swales that will be necessary for proper drainage with any future paving of the existing gravel parking area.
9. Both of the referenced notes are outdated and have been removed.
10. Permit numbers for all proposed development are referenced on applicable plan view sheets.
11. Packages for USACE, MDE, and the Critical Area Commission are included with this submittal.

OPZ/Planning (Dan Gerczak)

1. We do not agree that the development is expanded by the current revisions. The changes to the proposed development consist of the relocation of an existing forklift well and a reduction in the number of existing boat slips. Also, a public meeting for the revisions in question was held as part of the USACE/MDE approval process for the work in the waterways.
2. No public boat ramps exist on the existing or proposed site. The parking requirements for the boat uses are solely for slips and storage.

OPZ/Landscaping (Dan Gerczak)

1. The landscaping plans have been updated to match the title sheet..
2. Per the landscape checklist and established procedure, the landscaping cost estimate is not included on the site plans. A full plant list is included on the plans. The landscaping cost estimate previously submitted remains in effect, since all proposed planting changes are to the separately bonded mitigation areas.

OPZ/Engineering/Utilities (Claudia O'Keeffe)

1. (C.3.) The area where sand and bare earth exists--but "paving" (actually gravel) was previously shown as being removed--is already excluded from stormwater management as described in the addendum to the SWM report dated July 2008. No credit for proposed impervious area is taken for this removal, and no net new impervious area is created by the proposed development.
2. (E.1.) The referenced note has been removed from the plans. The LOD now includes the entire limit of disturbance.
3. (E.2.) The referenced notes, which were added when LOD changed solely for removal of gravel in parking areas, have been removed from the plans.

OPZ/Traffic (Jane Elberti)

1. Please see the attached letter by Traffic Concepts, Inc.
2. Trailer spaces are not required because there are no public ramps or boat launch areas. The ramps are only for access by specialized equipment in connection with the storage facilities.

Health Department (J. Thomas Gruver)


1. A plan showing revisions to the existing site plan has been submitted to the Health Department under separate cover. A copy of this plan is included herewith. The proposed improvements include the removal of a building with a combined office, ship's store, and bathhouse; and the construction of two boat storage and maintenance buildings. As calculated by square footage of the existing and proposed uses, a small decrease in septic load will occur. The existing septic system will therefore remain within its approved

capacity. In practical effect, the proposed work is likely to result in a significant decrease in wastewater generation since the employees working in the proposed buildings are already accounted for as part of the marina use.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,

Boyd & Dowgiallo, P.A.

By: 
Danny G. Boyd



BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

September 10, 2007

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina

G02011840

C# 05-068

Attn: Mr. Dan Gerczak

Dear Mr. Gerczak:

On behalf of our client, Pleasure Cove Marina LLC, owner of the above-referenced property, we are submitting herewith responses to the following comments dated July 27, 2007:

I. Issues

1. The tree clearing issue has been resolved with the County Forestry Department with a requirement that our client plant 9 native trees and pay a \$1000 fine. Ms. Jackie Colestock, RLA of B&D Environmental Services observed the 9 native trees (3 red oak and 6 red maple) being planted at the marina on September 4 by Evergreen Genes. The fine has been paid.
2. We recognize that the pier and bulkhead work is not included in this review. It is therefore not shown on these plans.
3. As per previous requests regarding the building purpose; we have attached a copy of the client's actual advertisement. Those services directly related to the building's use have been highlighted.

OPZ/Planning/Environmental (Dan Gerczak)

1. The tree clearing issue has been resolved with the County Forestry Department with a requirement that our client plant 9 native trees and pay a \$1000 fine. Ms. Jackie Colestock, RLA of B&D Environmental Services observed the 9 native trees (3 red oak and 6 red maple) being planted at the marina on September 4 by Evergreen Genes. The fine has been paid.
2. We have enclosed a revised version of the colorized exhibit previously submitted. We have also enclosed exhibits showing the 1988 impervious area in comparison to the current impervious and the proposed impervious areas.
3. We acknowledge the Critical Area bonding amounts; and also acknowledge that they will be processed along with the agreements with the grading permit.
4. As per our discussion with you on August 15, the Landscape Bond Estimate has not been shown on the SDP detail sheet; but is attached for your immediate use. We acknowledge that the bond will be processed with the grading cost estimate.

5. We acknowledge that the grading permit must be identical to the approved SDP plan prior to the grading permit approval.
6. We will forward the conservation easement to your office for processing once it is available.

Engineering Review (Claudia O'Keefe)

1. As shown on the exhibits previously forwarded under separate cover, the post-development condition has been revised to show removal of a smaller portion of existing gravel lot than was initially planned. Any "increase" in impervious area is within this existing gravel lot. Sediment control will be provided for this area, but stormwater management is not required since this area will not be modified or disturbed.

Critical Area Commission (Megan Sines)

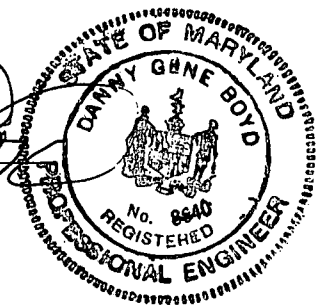
1. A revised planting plan has been attached for forwarding now that the buffer mitigation areas have been finalized.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,
Boyd & Dowgiallo, P.A.

By: 

Danny G. Boyd



CC: Client/File
JO# 446

cc: Client/file
J.O. #446



BOYD & DOWGIALLO

ENVIRONMENTAL SERVICES, LTD.

The Pleasure Cove Marina Project

*Tax Map 18, Block 14 Parcel 73
Anne Arundel County, Maryland*

Project #: 446



Table of Contents

CHESAPEAKE BAY CRITICAL AREA REPORT	3
PROJECT DESCRIPTION	3
EXISTING SITE INFORMATION	3
STORMWATER MANAGEMENT	5
WETLANDS & WETLAND MITIGATION:	6
IMPACT MINIMIZATION:	6
CONCLUSIONS:	6
APPENDIX	7
VICINITY MAP	8
SOILS MAP	9
WETLANDS MAP	10
CRITICAL AREA MAP	11
LARGE TREE TALLY	12
SPECIMEN TREE PHOTOS	13
REQUEST FOR DNR ~ ENVIRONMENTAL REVIEW STATEMENT	14
DNR ~ ENVIRONMENTAL REVIEW STATEMENT 2003	15
NOTIFICATION OF PROJECT	17

Chesapeake Bay Critical Area Report

For the

PLEASURE COVE MARINA PROJECT

1701 Poplar Ridge Road, Pasadena

in

ANNE ARUNDEL COUNTY, MARYLAND

PROJECT DESCRIPTION

Pleasure Cove Marina is located on the south side of Poplar Ridge Road, in Pasadena, Anne Arundel County, Maryland. The 22.59 acre site is split zoned R2 and MB (Marine Group B); with 21.48 acres falling into the Critical Area (11.33 Limited Development Area and 10.15 Resource Conservation Area.) This Critical Area report is to accompany a Site Development Plan reflecting redevelopment of the marina business including a proposed water dependant boat maintenance facility.

EXISTING SITE INFORMATION

A. Field Survey:

The site work for this report has been conducted through a couple of site visits. The first visit was on August 4, 2006 and the most recent one was conducted on September 28, 2006. The weather on both visits was sunny and slightly breezy. The site was accessed off of Poplar Ridge Road.

B. Vegetation Analysis:

Plant Communities: The site contains 7.56 acres of woodland. This is divided into three distinct stands. The first is adjacent to the Perry Cove shoreline along the western section of the site. In addition to also falling partially within the 100' buffer, this stand encompasses some steep slopes. The canopy layer (trees over 20' in height) is dominated by White Oak (*Quercus alba*), Southern Red Oak (*Quercus falcata*) and Chestnut Oak (*Quercus prinus*). The average DBH was between 8" and 12". The stand contains one specimen tree (DBH \geq 30"):

- 1) Chestnut Oak (*Quercus prinus*) 35"DBH General good health

The understory/shrub layer (between 20' and 3') is mainly composed of Black Cherry (*Prunus serotina*), Sassafras (*Sassafras albidum*), and American Holly (*Ilex opaca*) with a scattering of Greenbriar (*Smilax rotundifolia*), Blueberry (*Vaccinium corymbosum*), and Raspberry (*Rubus occidentalis*). This stand is in very good condition and given the variety of the species it should be given priority as a retention area.

The second stand is located adjacent to the first stand but more landward of Perry Cove. This stand is dominated by Pines: Virginia and Pitch (*Pinus virginiana* and *rigida*). There are a few Southern Red Oak also found in the canopy. There were no

specimen trees found in this stand. The understory/shrub layer is composed of American Holly, Blueberry and Greenbriar. While this stand is fairly mature, it will suffer once openings are created by the clearing of some of the pines. It should not be given as great a priority for retention as the first stand.

The third stand is located between the second stand and the site's entrance road. This stand should be given the lowest priority for retention because it is overrun by pioneer and/or invasive species including Black Cherry, Persimmon (*Diospyros virginiana*), and Black Locust (*Robinia pseudoacacia*). There were no specimen trees found in this stand. All of the layers are overgrown with a vast variety of vine species including Greenbriar, Japanese Honeysuckle (*Lonicera japonica*), Mile-a-minute (*Polygonum perfoliatum*), Oriental Bittersweet (*Selastrus orbiculatus*), and Fox Grape (*Vitis labrusca*). There was also a lot of evidence of fallen and standing dead wood.

In addition to the three forest stands the site contains various clumps of trees composed mainly of Southern Red Oak surrounded by a few low shrubs or turf grass. These trees tend to average a DBH range of 10" to 26". There were also three additional specimen trees found on the site:

- 1) Southern Red Oak (*Quercus falcata*) 38.5"DBH General good health, possible root compaction from gravel drive aisles.
- 2) Southern Red Oak (*Quercus falcata*) 37.3"DBH General good health, possible root compaction from gravel drive aisles.
- 3) Southern Red Oak (*Quercus falcata*) 52.5"DBH Poor health, half of the crown is dead and the other half shows signs of decline. Three-quarters of the Critical Root Zone is buried under macadam. Preserving this tree is not recommended. See Attached photos.

The remainder of the site that is not actively used for the marina businesses is composed of septic fields, turfed over sand/gravel areas, and an old dredge spoil site that is covered with old field growth. These areas also contain various piles of abandoned debris and equipment.

C. Slopes & Soils:

Steep Slopes and the adjoining buffers are shown on the plans.

According to the USDA-NRCS soils report for Anne Arundel County (<http://websoilsurvey.nrcs.usda.gov/app/>) the site is composed of five soils. The main soil is Patapsco-Fort Mott-Urban Land Complex, 0 to 5 percent slopes (PgB). This soil covers about 56% of the site. PgB is a well drained to excessively drained soil that is neither flooded nor ponded; with a water table between 56 inches and 6 feet. The available water capacity varies and shrink swell potential is low. PgB is not a hydric soil. The pH ranges from 3.5 to 5.5 throughout all horizons. The second soil on the site is Patapsco-Fort Mott-Urban Land Complex, 5 to 15 percent slopes (PgD). This soil covers about 15% of the site. PgD differs from PgB only in the range of slopes the soil is found on. The third soil is Russett-Alloway-Hambrook Complex, 0 to 5 percent slopes (RhB). This soil covers about 12% of the site. RhB is a moderately drained soil that is neither flooded nor ponded; with a seasonal high water table between 30 and 60 inches deep. The available water capacity is very high and shrink swell potential is low. RhB is not a hydric soil. The pH ranges from 3.5 to 6.8 throughout all horizons. The fourth soil on the site is Russett-Alloway-Hambrook Complex, 5 to 10 percent slopes (RhC). This soil covers about 10% of the site. RhC differs from RhB only in the range of slopes the soil is found on. The final soil is the Sassafras fine Sandy Loam, 10 to 15% slopes (SaD). This soil covers about 7% of the site. SaD is well drained, and is neither flooded nor ponded. The water table is

deeper than 6'. This soil is not a hydric soil. The pH ranges from 3.6 to 5.5 in all horizons. This information was not field verified.

D. Animal Analysis:

Other than two hawks observed circling overhead, no wildlife of note was observed on the site during either visit. However given the variety of food sources present in the wooded stand, the availability of nesting sites and materials variety of wildlife could be expected. This would include deer, residential birds, and small to medium mammals (squirrels, raccoons, foxes, field mice...) as well as local reptiles (toads, frogs, snakes and turtles.)

E. Natural Heritage & Habitat Protection Areas:

Neither historic nor archeological features were observed during the fieldwork.

This site contained Habitat Protection Areas along the shoreline, the 100' Critical Area Shoreline Buffer, the steep slopes and the steep slope buffers. These buffers are shown as expanded where the slopes abut tidal waters. The proposed redevelopment reflects an encroachment into the 100' Critical Area Shoreline Buffer. This encroachment would be mitigated with new planting areas at a rate of 2 to 1 along the remainder of the shore line Habitat Protection Area. These new areas are shown adjacent to existing planted areas that serve to protect the shore edge from erosion and runoff. The additional plantings would further strengthen the functioning of the existing buffer plantings.

F. Threatened and endangered Species:

There were no rare, threatened or endangered species observed during fieldwork. In 2003 DNR was asked to conduct an environmental review, and they mentioned two species of concern: Brown-fruited Rush (*Juncus pelocarpus*) and Leatherleaf (*Chamaedaphne calyculata*). Neither was observed. A copy of the letter requesting another DNR environmental review has been attached to the appendix.

G. Shoreline Condition:

The existing shoreline is either bulkheaded, riprapped, or natural slope. The bulkheading exists only in those areas used by the marina forklift and/or travel-lift for getting boats into or out of the water. The rest of the shore line is a combination of riprap backed by a planted bench or natural shore line. Both of these conditions are found adjacent to the existing pier system. All shore conditions are marked on the plan.

H. Marina Usage:

The majority of this site has contained a functioning commercial marina for at least the last three decades. The proposed redevelopment of this site will continue that function.

STORMWATER MANAGEMENT

The site currently exhibits little to nothing in the way of formal stormwater management. There is a planted buffer along the shore line that slows and filters some runoff from the site. However, since the majority of the property is sloped towards Main Creek or Perry Cove and the site also has a high percentage of impervious surface area; it generates a significant sediment and stormwater runoff load. The proposed redevelopment will require that stormwater issues the redevelopment raises be addressed in compliance with current regulations.

WETLANDS & WETLAND MITIGATION:

The property does not contain any wetlands. A National Wetlands Inventory map composed from data acquired from the USFW_Wetlands Digital Data website (<http://wetlandsfws.er.usgs.gov/NWI/index.html>) has been included in the Appendix.

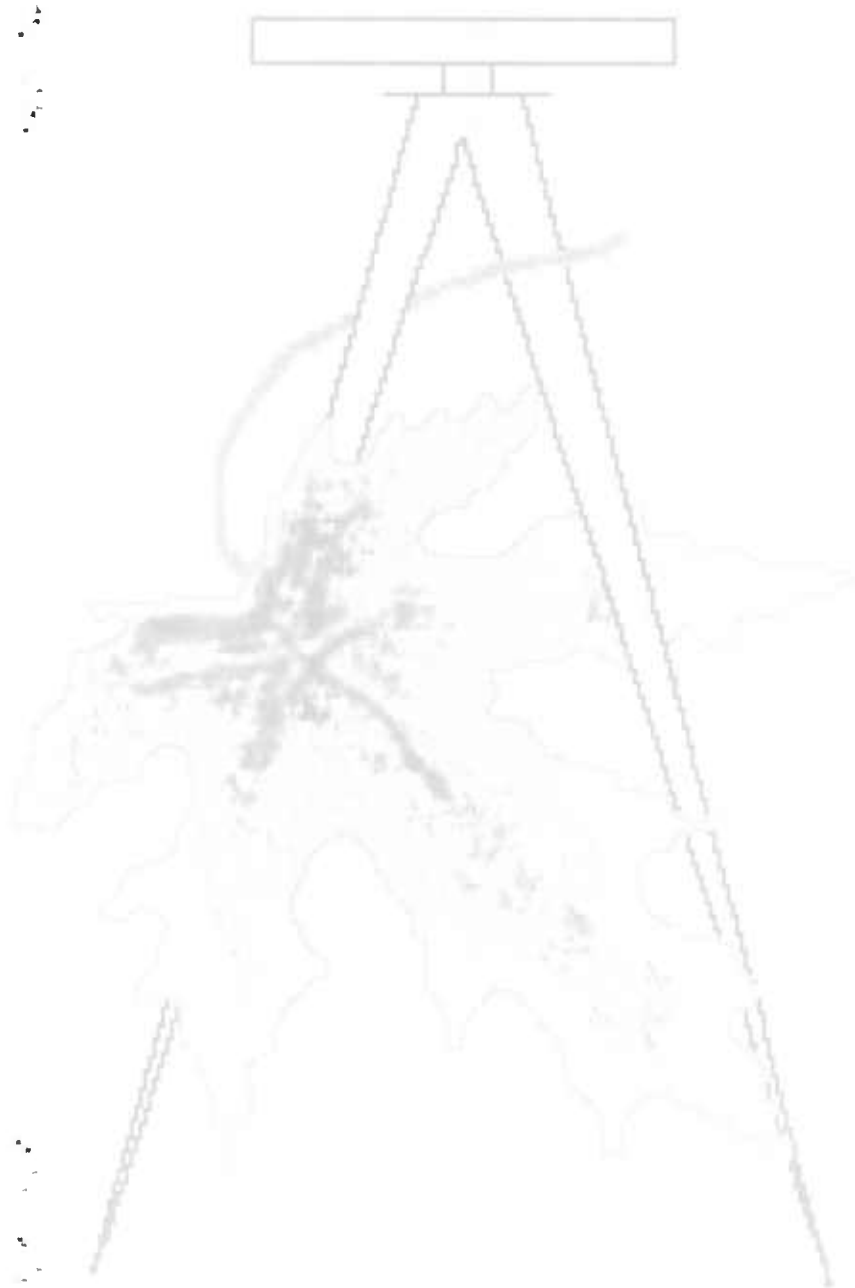
IMPACT MINIMIZATION:

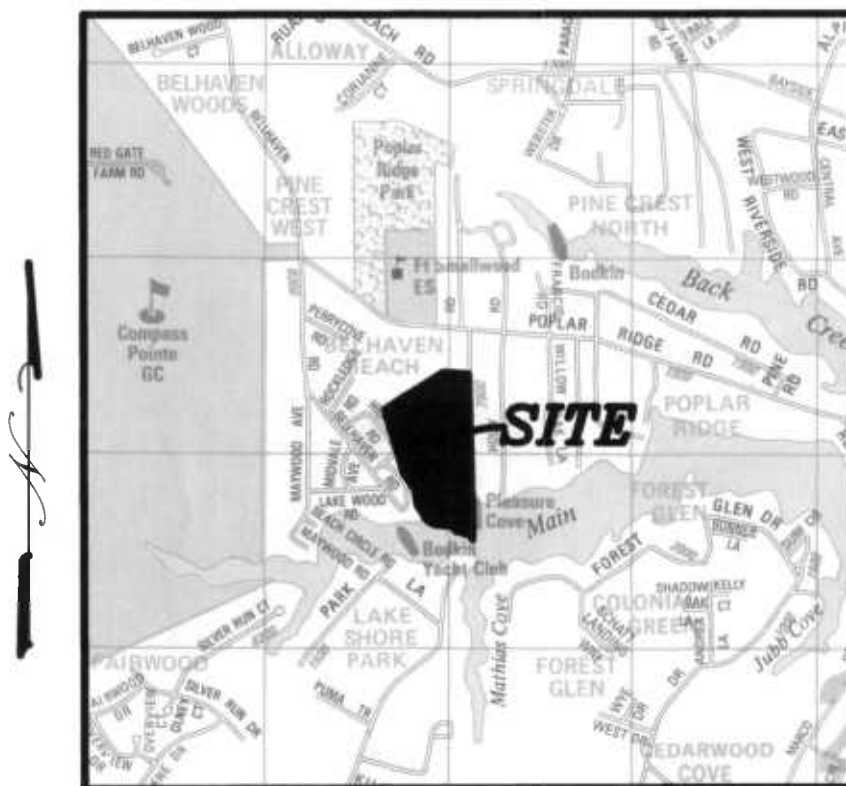
The proposed redevelopment includes the construction of a water dependant boat maintenance and storage facility. All power boats are responsible for some sort of environmental pollution, be it bilge leakage, engine fluid leakage, or bottom scraping and painting; to say nothing of the damage caused by boats sunk due to storms. The watercraft kept and maintained in this type of facility are responsible for lower amounts of the same pollutants actually escaping into the environment when the boat is not in use. Designed to be a state of the art, climate controlled facility for the storage and maintenance of high powered, ocean-going boats that measure at least 50' in length at the waterline; the structure is considered water dependant by the manufacturer because the size of the boats involved precludes moving them over large distances. Since this type of watercraft requires on-going maintenance to keep it in running condition, they are taken out of the water on a regular basis. The pollutant release during this maintenance is very controlled in this type of facility since all fluids and other maintenance remains can be easily collected and treated prior to disposal. This is especially true when dealing with the scrappings that result from the removal of anti-fouling bottom paint; the disposal of which the Maryland Department of the Environment regulates very strictly. To begin with, fewer boats in this type of facility use anti-fouling bottom paint. For the watercraft that do use the paint, the periodic required removal and replacement process is done in a very carefully controlled environment that complies with the current MDE regulations. During heavy storms, the boats protected within the building are at no risk of being swamped or capsized. This completely eliminates the environmental disaster that occurs when all of a boat's on-board fluids are released into the water during a sinking. Since this facility is designed to handle large boats, the marina will experience a reduction in the number of boats being maintained and stored on site. For the surrounding neighborhood, this means less traffic on the local roads accessing the marina, especially on busy holiday weekends.

CONCLUSIONS:

The removal of the existing boat rack storage system and construction of this state of the art maintenance and storage facility will be an improvement to the natural environment of the site and also to the water bodies adjacent to the site. The most desirable forest stand is located well away from the proposed redevelopment site. This stand will be maintained if the site is allowed to be developed.

Appendix





Copyright ADC The Map People® Permitted Use #20062112

Scale 1" = 2000'

VICINITY MAP

Pleasure Cove Marina

CRITICAL AREA REPORT

1701 Poplar Ridge Road
Pasadena, MD 21122

Owner/Developer

Pleasure Cove Marina, LLC
15525 Fredrick Road
Rockville, MD 20855



Boyd & Dowgiallo

ENVIRONMENTAL SERVICES, LTD

7678 Quarterfield Road, Suite 202
Glen Burnie, Maryland 21061

410-863-5901
FAX: 410-863-8844



Scale 1" = 100'

SOILS MAP

Owner/Developer

Pleasure Cove Marina, LLC
15525 Fredrick Road
Rockville, MD 20855



BOYD & DOWGIALLO ENVIRONMENTAL SERVICES, LTD.

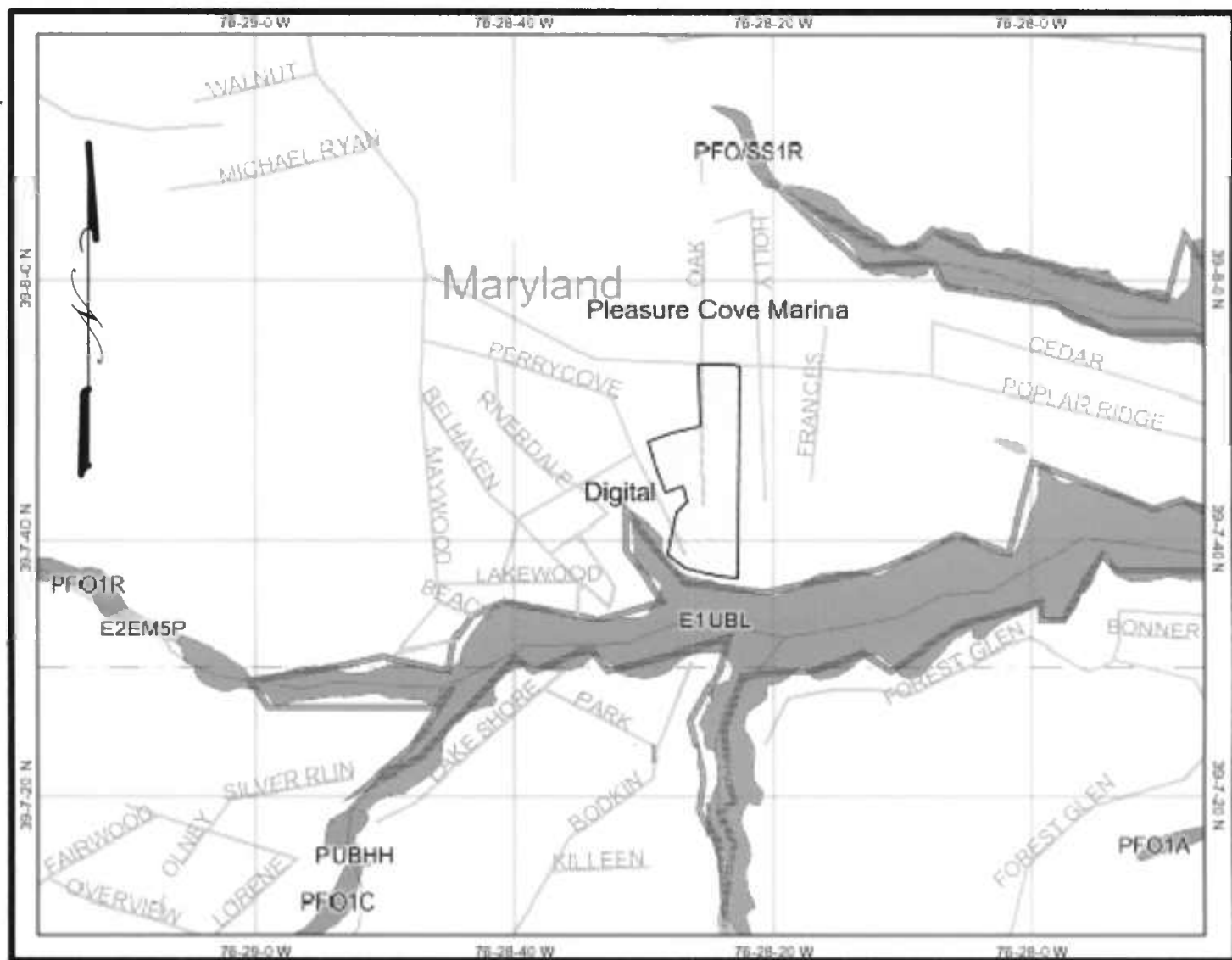
7678 Quarterfield Road, Suite 202
Glen Burnie, Maryland 21061

410-863-5901
FAX: 410-863-8844

Pleasure Cove Marina

CRITICAL AREA REPORT

1701 Poplar Ridge Road
Pasadena, MD 21122



Scale 1 :: 20,000

WETLANDS MAP

Pleasure Cove Marina

CRITICAL AREA REPORT

1701 Poplar Ridge Road
Pasadena, MD 21122

Owner/Developer

Pleasure Cove Marina, LLC
15525 Fredrick Road
Rockville, MD 20855



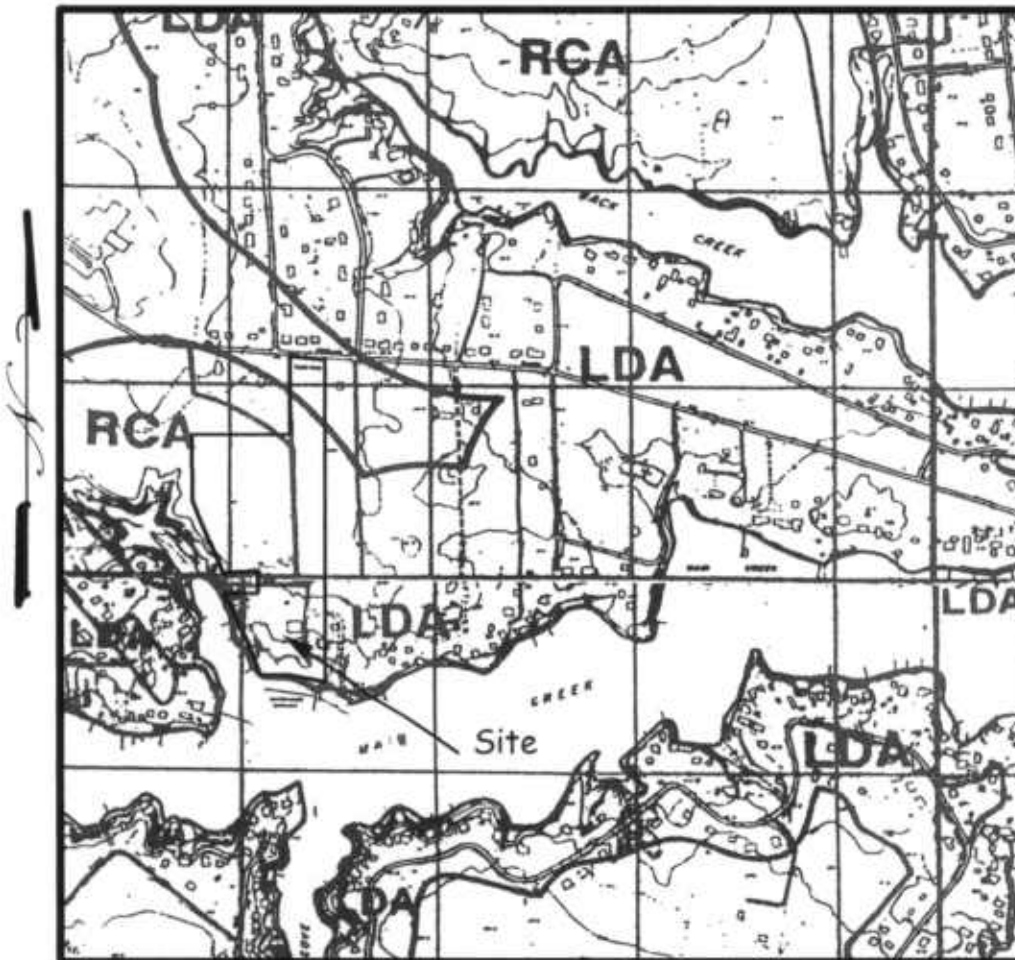
BOYD & DOWGIALLO

ENVIRONMENTAL SERVICES, LTD

7678 Quarterfield Road, Suite 202
Glen Burnie, Maryland 21061

410-863-5901

FAX: 410-863-8844



Scale 1" = 1000'

CRITICAL AREA MAP

Owner/Developer

Pleasure Cove Marina, LLC
15525 Fredrick Road
Rockville, MD 20855



BOYD & DOWGIALLO

ENVIRONMENTAL SERVICES, LTD

7678 Quarterfield Road, Suite 202
Glen Burnie, Maryland 21061

410-863-5901

FAX: 410-863-8844

Pleasure Cove Marina

CRITICAL AREA REPORT

1701 Poplar Ridge Road
Pasadena, MD 21122

[illegible]

SPECIMEN TREE PHOTOS



RLA #1 is center, RLA #2 is on the left.



RLA #3 looking E – note Crown loss.



RLA #3 looking NW



BOYD & DOWGIALLO

ENVIRONMENTAL SERVICES, LTD.

September 29, 2006

State of Maryland Department of Natural Resources
Wildlife and Heritage Services Division
Tawes State Office Building
508 Taylor Avenue E-1
Annapolis, MD 21401

ATTENTION: Lori Byrne

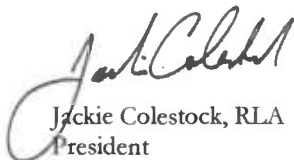
RE: Natural Resources Inventory Search
Pleasure Cove Marina Property
Address: 1701 Poplar Ridge Rd., Pasadena, MD 21122
Tax Map 18, Block 14, Parcel 73
B&D Environmental Services Job #446

Dear Ms. Byrne:

I am respectfully requesting a file search for a Natural Resources Inventory of the above-referenced property for use in a Critical Area Report. Any information that you may have in your files with regards to rare, threatened or endangered species of plants or animals in the immediate vicinity of the site, or on the subject property, would be greatly appreciated. I am forwarding a copy of the Anne Arundel County ADC street map that locates the particular parcel of interest.

I appreciate your attention in this matter. If you have questions, or need additional information, please do not hesitate to call me.

Very truly yours;



Jackie Colestock, RLA
President
Boyd & Dowgiallo ~ Environmental Services. LTD.

CC: File, Report

Enclosures: 1 Site Vicinity Map

jjc/JJC

C:\Data\BUSINESS\LANDSC\APCA\CA\Forms\ESD_DNR\Source Species Search REQUEST.doc



Robert L. Ehrlich, Jr.
Governor

C. Ronald Franks
Secretary

Michael S. Steele
Lt. Governor

Maryland Department of Natural Resources

Towers State Office Building
580 Taylor Avenue
Annapolis, Maryland 21401

W. P. Jensen
Deputy Secretary

June 23, 2003

Ms. Nancy L. Matthews
Cattail Consulting
P.O. Box 1599
Severna Park, MD 21146

RE: Environmental Review for Pleasure Marine Center, 1701 Poplar Ridge Road, Pasadena, Anne Arundel County, Maryland.

Dear Ms. Matthews:

The Wildlife and Heritage Service has no records for Federal or State rare, threatened or endangered plants or animals within this project site. As a result, we have no specific comments pertaining to protection measures at this time. This statement should not be interpreted, however, as meaning that rare, threatened or endangered species are not present. Such species could be present without being documented because adequate surveys have not been conducted in the past.

In addition, it is important to note that the utilization of state funds or future compliance associated with local ordinances, state permits, or provisions pertaining to state law in general may warrant additional recommendations by the Wildlife and Heritage Service. If this project falls into one of these categories, please contact us for further coordination.

We would like to also bring to your attention that Wildlife and Heritage Service's Natural Heritage database does indicate that there are records for the following species of concern known to occur within the vicinity of the project site:

<u>Scientific Name</u>	<u>Common Name</u>	<u>State Status</u>
<i>Juncus pelocarpus</i>	Brown-fruited Rush	Endangered
<i>Chamaedaphne calyculata</i>	Leatherleaf	Threatened

TTY via Maryland Relay: 711 (within MD) (800) 735-7258 (Out of State)
Toll Free to MDN: 1-877-620-8DNR ext. _____

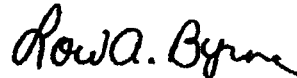
Page 2
June 23, 2003

These species could potentially occur on the project site itself, especially in areas of appropriate habitat. Habitat for Brown-fruited Rush is described as: Damp shores, pools and wet sand (Fernald 1950); moist or wet soil of cedar swamps, sandy bogs, watersides (Hough 1983). Habitat for Leatherleaf is described as: Pool margin (Damman 1977); Coastal Plain bogs and edges of fresh tidal shrub swamps (MDNHP).

The populations of native plants mentioned here have declined historically and we encourage efforts that help to conserve them across the state. If you would like technical assistance regarding the conservation of these important species, please contact us.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, feel free to contact me at (410) 260-8573.

Sincerely,



Lori A. Byrne
Environmental Review Coordinator,
Wildlife and Heritage Service
Maryland Department of Natural Resources

ER# 2003.0689.aa
Cc: K. McCarthy, DNR
R. Esslinger, CAC

CRITICAL AREA COMMISSION
FOR THE CHESAPEAKE AND ATLANTIC COASTAL BAYS
1804 WEST STREET, SUITE 100
ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County

Date: 09/29/06

Tax Map #	Parcel #	Block #	Lot #	Section
18	73	14		

FOR RESUBMITTAL ONLY

Corrections ☐
Redesign ☒
No Change ☐
Non-Critical Area ☐

*Complete Only Page 1
General Project Information

Project Name (site name, subdivision name, or other) | Pleasure Cove Marina

Project location/Address | 1701 Poplar Ridge Rd.

City | Pasadena | Zip | 21122

Local case number | |

Applicant: Last name | Herson | First name | Gerold

Company | Pleasure Cove Marina, LLC

Application Type (check all that apply):

Building Permit	<input type="checkbox"/>	Other	<input type="checkbox"/>
Buffer Management Plan	<input type="checkbox"/>	Rezoning	<input type="checkbox"/>
Conditional Use	<input type="checkbox"/>	Site Plan	<input checked="" type="checkbox"/>
Consistency Report	<input type="checkbox"/>	Special Exception	<input type="checkbox"/>
Disturbance > 5,000 sq ft	<input type="checkbox"/>	Subdivision	<input type="checkbox"/>
Grading Permit	<input checked="" type="checkbox"/>	Variance	<input type="checkbox"/>

Local Jurisdiction Contact Information:

Last name | First name |

Phone # | Response from Commission Required By |

Fax # | Hearing date |

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Construction of a water dependant boat maintenance facility.

Intra-Family Transfer ☐ Yes
Grandfathered Lot ☐

Growth Allocation ☐ Yes
Buffer Exemption Area ☐

Project Type (check all that apply)

Commercial ☒
Consistency Report ☐
Industrial ☐
Institutional ☐
Mixed Use ☐
Other ☐

Recreational ☐
Redevelopment ☐
Residential ☐
Shore Erosion Control ☐
Water-Dependent Facility ☒

SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area		
LDA Area	11.33	
RCA Area	10.11	
Total Disturbed Area	6.08	

Total Disturbed Area **6.08**

of Lots Created **0**

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	7.56		Existing Impervious Surface	9.28	
Created Forest/Woodland/Trees	0		New Impervious Surface		
Removed Forest/Woodland/Trees	0		Removed Impervious Surface	2.20	
			Total Impervious Surface	7.08	

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance			Buffer Forest Clearing		
Non-Buffer Disturbance			Mitigation		

Variance Type

Buffer ☐
Forest Clearing ☐
HPA Impact ☐
Impervious Surface ☐
Expanded Buffer ☐
Nontidal Wetlands ☐
Other ☐
Setback ☐
Steep Slopes ☐

Structure

Acc. Structure Addition ☐
Barn ☐
Deck ☐
Dwelling ☐
Dwelling Addition ☐
Garage ☐
Gazebo ☐
Other ☐
Patio ☐
Pool ☐
Shed ☐



ENVIRONMENTAL SERVICES, LTD.

7678 QUARTERFIELD ROAD, SUITE 102 ~ GLEN BURNIE, MARYLAND 21061
410-863-5901 ~ FAX: 410-863-8844

County Bond Estimate Summary & Reconciliation

September 10, 2007

Project Name: Pleasure Cove Marina

C05-0068

Total Required Bond Amount

*Itemized County Bond Estimates attached.

Itemized Estimate

Landscape Planting
Landscape Plan Hardscape Items
Bio-Retention SWM Plantings
SWM Pond Buffer Plantings

Total Required Bond Estimate:**

Sub-Total

\$19,270.00

\$0.00

\$17,759.00

\$0.00

\$37,029.00

SEP 12 2007

PLANNING AND ZONING
DEVELOPMENT

Inspection Fee* Reconciliation

*Required Inspection Fee is 5% of Bond amount up to a max of \$1000.

Itemized Estimate

Required Inspection Fee as per this submittal

Total Inspection Fee Increase Required:**

Sub-Total

\$1,000.00

\$1,000.00

** Critical Area Buffer and Mitigation are bonded at \$1.25/sqft and Inspected at 7%. These figures have not been added to this worksheet.

B&D ~ ENVIRONMENTAL SERVICES, LTD.
7678 Quarterfield Road, Suite 102
Glen Burnie, MD 21061
410-863-5901

Project Name: 446 Pleasure Cove Marina

Monday, September 10, 2007

Landscape Planting County Bond Estimate

Code	Plant Type	Scientific Name	Quantity	Unit Price	Total
AxG	Shrub	Abelia x grandiflora	25	\$30.00	\$750.00
BJ	Shrub	Berberis julianae	80	\$30.00	\$2,400.00
CFSS	Shrub	Calycanthus floridus	29	\$30.00	\$870.00
PV	Tree - Evergreen	Pinus virginiana	78	\$100.00	\$7,800.00
CV'WF	Tree - Ornamental	Chionanthus virginicus	15	\$100.00	\$1,500.00
QR	Tree - Shade	Quercus rubra	21	\$200.00	\$4,200.00
QR-st	Tree - Shade	Quercus rubra (street tree)	5	\$350.00	\$1,750.00
Total Bond Estimate:					\$19,270.00

B&D ~ ENVIRONMENTAL SERVICES, LTD.
7678 Quarterfield Road, Suite 102
Glen Burnie, MD 21061
410-863-5901

Project Name: 446 Pleasure Cove Marina

Monday, September 10, 2007

Bio-Retention Planting SWM Bond Estimate

Code	Plant Type	Scientific Name	Quantity	Unit Price	Total
AGBB	Ornamental Grass	Andropogon glomeratus	402	\$9.00	\$3,618.00
CCBJ	Ornamental Grass	Calamagrostis canadensis	396	\$9.00	\$3,564.00
ANA'AP	Perennial	Aster novea-angliae 'Alma Poetschke'	453	\$9.00	\$4,077.00
SA'G	Perennial	Solidago austrina	230	\$9.00	\$2,070.00
AxG	Shrub	Abelia x grandiflora	25	\$30.00	\$750.00
CFS	Shrub	Calycanthus fertilis	9	\$30.00	\$270.00
HVAW	Shrub	Hamamelis virginiana	22	\$30.00	\$660.00
HA'A	Shrub	Hydrangea arborescens 'Annabel'	18	\$30.00	\$540.00
IV	Shrub	Ilex verticillata	17	\$30.00	\$510.00
PV	Tree - Evergreen	Pinus virginiana	17	\$100.00	\$1,700.00

Total Bond Estimate: \$17,759.00

NOTES: 1) Unit Pricing for Perennials and Ornamental Grasses is based upon AACo \$6 per square foot.

RECEIVED

BOYD & DOWGIALLO, P.A.

JUN 27 2007
Engineers, Surveyors & Planners

PLANNING AND ZONING
DEVELOPMENT

June 25, 2007

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina
G02011840
C# 05-068

C 0 5 0 0 0 6 8

Attn: Mr. Dan Gerczak

Dear Mr. Gerczak:

On behalf of our client, Pleasure Cove Marina LLC, owner of the above-referenced property, we are submitting herewith responses to the following comments dated May 4:

I. Issues

1. As discussed by phone on June 22, resolution of the tree clearing is being pursued with the county forester.
2. We recognize that the pier and bulkhead work is not included in this review. It is therefore not shown on these plans.

OPZ/Planning/Environmental (Dan Gerczak)

1. As discussed by phone on June 22, resolution of the tree clearing is being pursued with the county forester.
2. The number of 65,655 sq ft for reduction of impervious area may not have represented both zoning areas. The totals of impervious area proposed for removal has been reduced with this submittal. Some area previously shown for removal was an artifact of old plans. A net impervious area of 14,163 sq ft is being removed from MB zoning as a result of landscape and buffer requirements. An impervious area of 42,349 sq ft is being removed from R2 zoning for the proposed bioretention area and where the north end of the existing gravel lot is being abandoned. Within the 100 ft buffer (in MB zoning) a total of 665 sq ft of new impervious area is being added for sidewalk and driveway realignment. The figure of "920" refers to the length of the shoreline.
3. The Landscape Plan and the Buffer Plan have been separated. Both of these plans have been attached to the SDP. Included in the Buffer Plan is a 30 scale view of the buffer area adjacent to the shoreline. The Critical Area Buffer Calculations tabulation has also been redone in an attempt to clarify the information presented. The new tabulation is attached to this letter, as well as included on both the SDP and the Buffer Plans. It is explained below:

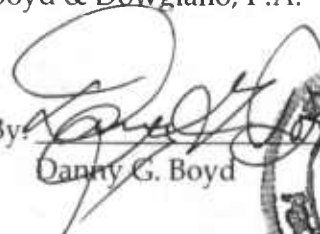
- Within the 25' CA Buffer we acknowledge that a total of 23,000 sq ft is required; of that requirement there currently exists 6559 sq ft of shoreline planting. The current submittal provides 7045 sq ft of planting – filling out the remaining available plant-able area within the 25' CA Buffer. There remains 9396 sq ft of the 25' CA Shoreline buffer that can not be planted because it is existing impervious surface. The current submittal also includes a total of 326 sq ft of impervious surface that is either redeveloped or is proposed-additional. This area is scheduled for mitigation at a 2::1 ratio thus totaling 652 sq ft. The total planting requirement for the 25' CA Buffer is 10,048 sq ft.
 - Within the remainder of the 100' CA Buffer the redeveloped and proposed/additional impervious area totals 6176 sq ft. At the mitigation ratio of 2::1, the required planting area is 12,352 sq ft.
 - The total mitigation required for the 25' Shoreline requirement, and all of the redeveloped and proposed/additional impervious surface totals 22,400 sq ft. The current submittal provides a total of 26,585 sq ft; of this 23,585 sq ft is newly planted area provided within the 100' buffer – but outside of the 25' buffer. An additional 3000 sq ft has also been shown along the Gast property line, north of the proposed building.
4. The Conservation Easement will be forwarded when all required mitigation areas have been established.


Critical Area Commission (Megan Sines)

1. A revised planting plan will be forwarded when the buffer mitigation areas have been finalized.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,
Boyd & Dowgiallo, P.A.

By: 
Danny G. Boyd



Critical Area Buffer Planting Mitigation and Reconciliation Calculations

25' Shoreline Buffer ~ Required Planted Buffer

A. Existing Shoreline:	920 sq. ft.
B. Required Planting Area w/i the Buffer:	23,000 sq. ft.
C. Existing Planting w/i the Buffer:	6559 sq. ft.
D. Provided Planting w/i the Buffer:	7045 sq. ft.
E. Resulting Planted Area w/i the Buffer	13,604 sq. ft.
F. Required 25' Buffer Planted Area Remaining	9396 sq. ft.

25' Shoreline Buffer ~ Impervious Area Mitigation

A. Redeveloped Impervious Area w/i the 25' Buffer:	201 sq. ft.
B. Proposed Impervious Area w/i the 25' Buffer:	125 sq. ft.
C. Impervious Area Requiring Mitigation w/i 25' the Buffer:	326 sq. ft.
a. (A + B)	
D. Required 25' Buffer Impervious Area Mitigation	652 sq. ft.
a. (A + B)*2	

25' Shoreline Buffer ~ Planting Requirements Reconciliation

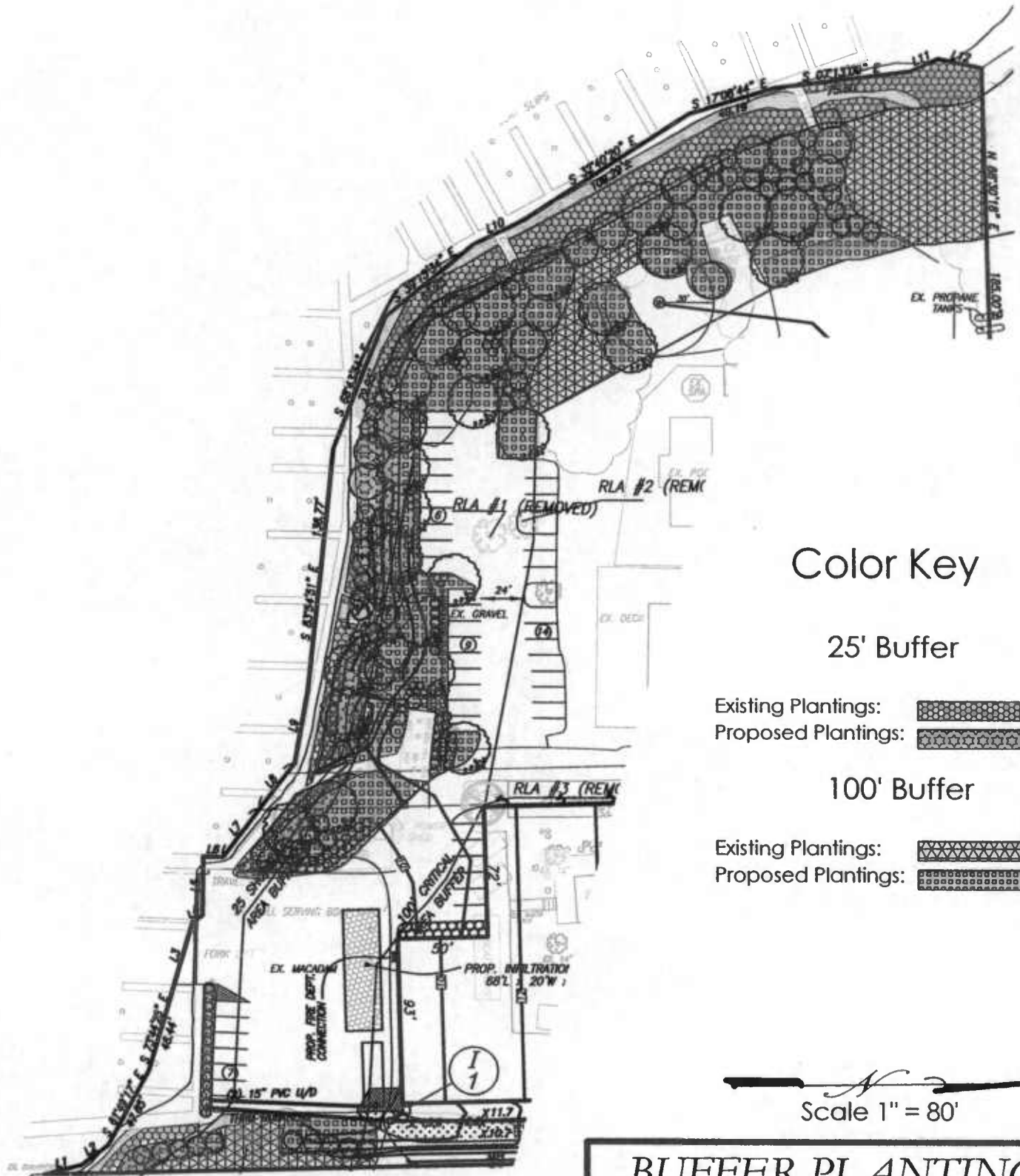
A. Required 25' Buffer Planted Area Remaining	9396 sq. ft.
B. Required 25' Buffer Impervious Area Mitigation	652 sq. ft.
C. Required 25' Buffer Additional Planting Area	10,048 sq. ft.
a. (A + B)	
b. NOTE: Planting to be done outside of 25' Buffer Area.	

Remaining 100' Buffer ~ Impervious Area Mitigation

A. Redeveloped Impervious Area w/i the Remaining 100' Buffer:	5636 sq. ft.
B. Proposed Impervious Area w/i the Remaining 100' Buffer:	540 sq. ft.
C. Impervious Area Requiring Mitigation w/i the Remaining 100' Buffer	6176 sq. ft.
a. (A + B)	
D. Required Impervious Area Mitigation w/i the Remaining 100' Buffer	12,352 sq. ft.
a. (A + B)*2	

Critical Area Buffers ~ Planting Area Reconciliation

A. Required Total Planting Area:	22,400 sq. ft.
a. 25' Buffer Planting Total + Remaining 100' Buffer Planting Total	
B. Existing Planted Area Outside 25' Buffer – BUT inside of 100' Buffer:	9194 sq. ft.
C. Provided Planted Area Outside 25' Buffer – BUT inside of 100' Buffer:	23,585 sq. ft.
D. Provided Additional Buffer Mitigation Area along Gast Property Line	3000 sq. ft.
E. Provided Total Buffer Planting Area	26,585 sq. ft.
a. (B + C)	
b. NOTE: There is an overage of Buffer Planting Area of 4185 sq. ft.	



Color Key

25' Buffer

Existing Plantings:



Proposed Plantings:



100' Buffer

Existing Plantings:



Proposed Plantings:



Scale 1" = 80'

BUFFER PLANTING AREAS

Owner/Developer

Pleasure Cove Marina, LLC
15525 Fredrick Road
Rockville, MD 20855



BOYD & DOWGIALLO

ENVIRONMENTAL SERVICES, LTD.

7678 Quarterfield Road, Suite 202
Glen Burnie, Maryland 21061

410-863-5901

FAX: 410-863-8844

Pleasure Cove Marina

AACo Comment Response Letter

1701 Poplar Ridge Road

Pasadena, MD 21122

BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

March 23, 2007

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina
G02011840
C# 05-068

Attn: Mr. Dan Gerczak

Dear Mr. Gerczak:

On behalf of our client, Pleasure Cove Marina LLC, owner of the above-referenced property, we are submitting herewith responses to the following comments dated November 3:

OPZ/Planning/Environmental (Dan Gerczak)

1. The building has been removed from the 100' buffer/front yard set back area.
2. Separate copies of sheets 3 & 5 of the SDP showing proposed removal of impervious area in color are included with the Planning submittal package.
3. A table listing the areas as specified has been added to Sheet 1 of the SDP and Sheet 2 of the Landscape Plan.
4. All plantings, including the Buffer Planting plan and the Buffer Mitigation Planting plan, are shown on the Landscape Plan. Additional plantings to bring the current buffer up to the required 25' width have been shown. The required buffer mitigation plantings are not within the 25' buffer but are solely within the remaining 75' of the 100' buffer.
5. The Conservation Easement will be forwarded when it is available.

OPZ/Engineering (Claudia O'Keeffe)

1. Approval is noted.

OPZ/Traffic (Jane Elberti)

1. Noted.
2. Unfortunately, the trees in question suffered severe damage during the winter storm of February 14th. The damage resulted in the trees developing a lean that was determined to be unsafe by Paul Foster of Bartlett Tree Experts, the expert called in to assess the site damage following the storm. As a result of his evaluation, the trees in question were removed.

OPZ/Landscape (John Hilley)

1. Approval is noted.

Health Department (J. Thomas Gruver)

1. Approval is noted.

Fire Marshal (Lt. N. Wesley Clark)

1. Approval is noted.

Critical Area Commission (Lisa Hoerger)

1. The waterfront buffer to be added as part of mitigation is shown in detail on Sheet 5 of the site plans. A buffer of at least 25 ft is provided except at the existing macadam water access, as shown on Sheet 5.
2. The building has been removed from the 100' buffer/front yard set back area.
3. All plantings, including the Buffer Planting plan and the Buffer Mitigation Planting plan, are shown on the Landscape Plan. Additional plantings to bring the current buffer up to the required 25' width have been shown. The required buffer mitigation plantings are not within the 25' buffer but are solely within the remaining 75' of the 100' buffer.
4. Sheet 1 of the Landscape Plan includes a Plant Schedule listing the type, number and size of all of the specified plants.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,
Boyd & Dowgiallo, P.A.

By: _____

Date: G. B. _____



BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

December 26, 2006

RECEIVED

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina 28 2006

G02011840

C# 05-068 PLANNING AND ZONING
DEVELOPMENT

Attn: Mr. Dan Gerczak

Dear Mr. Gerczak:

CUB 0000

On behalf of our client, Pleasure Cove Marina LLC, owner of the above-referenced property, we are submitting herewith responses to the following comments dated November 3:

OPZ/Planning/Environmental (Dan Gerczak)

1. Impervious coverage for either zoning district has been added to the site analysis on the cover sheet of the site plans. The total coverage has been revised. The proposed improvements include a net decrease in impervious coverage for either zoning district. The area to be converted to vegetated surface is primarily in the R2 zoning to the north of the proposed building and is labeled and highlighted in the legend on Sheet 4 *for that area only*. Other reduction of impervious area is for buffer mitigation and parking area design and is already delineated for those purposes.
2. The proposed conservation easement contains 70% of the existing onsite woodland (5.29 acres out of 7.56 acres existing). We recognize that a conservation easement will also be required for the buffer mitigation areas.
3. A planting plan will be provided upon your acceptance of the mitigation boundaries. A landscape agreement and bond will be forwarded to you for approval upon acceptance of the landscape plan, and a reforestation agreement and bond for any reforestation in connection with Critical Area requirements will also be forwarded to you upon acceptance of the planting plan.

OPZ/Engineering (Claudia O'Keeffe)

1. This comment is largely addressed by the elimination of the smaller bioretention pools adjacent to the proposed building. Approximately 40% of the improvements will be treated by a single large bioretention area with an internal inlet structure, and the remainder of the water-quality volume will be provided in two infiltration devices. A small area of replaced pavement along the existing access road will be treated by a second bioretention area. Both bioretention areas have pipe outlets with adequate capacity for the ten-year storm and therefore should not be expected to overflow overland.

2. Although shown on the 2000 MDE Stormwater Design Manual, the gravel curtains have been removed from the plans to ensure that all water entering the bioretention area is properly treated, as requested. All flow beyond the 1 inch rainfall event will discharge via the proposed inlet/storm drain outfall.
3. The bioretention device, as shown on the revised plan, meets the required 10 ft setback from the proposed structure.
4. All of the proposed water-quality devices are offline, as shown by the profiles on sheets 7 & 9 of the site plans. A complete description of the system is provided in the SWM report. Pretreatment sedimentation basins, sized according to the Camp-Hazen equation (as shown in Section 3.4.3 of the 2000 MDE Manual,) and level spreaders are specified for concentrated discharges into the two bioretention areas. Therefore, it is our professional opinion that this combination of practices has addressed pre-treatment requirements in accordance with the 2000 MDE Stormwater Design Manual.
5. This comment is no longer applicable given the elimination of the bioretention areas along the eastern side of the building. Additionally, proposed grading, sufficient to meet freeboard restrictions--including spot elevations where necessary, has been provided on the revised plans.
6. See response #4 above. Pretreatment is provided in sediment chambers for the two infiltration trenches and sediment basins for the concentrated discharge into the two bioretention areas.
7. As shown on the revised SWM computations and in the attached plans, recharge requirements has been provided by the use of infiltration practices. Since 60% of the total water-quality volume is provided using infiltration practices, and given the "A" type soil present the required recharge volume is equal to 42% of the water-quality volume, no recharge devices other than the infiltration trenches are necessary to meet the recharge volume for the site.
8. Calculations regarding the conveyance of the ten-year storm were previously provided in the SWM report and have been expanded for this submittal.

OPZ/Traffic (Jane Elberti)

1. Noted.
2. The gravel parking area across from the proposed building has been designed to designate the location of parking spaces. The existing gravel parking lots behind and in front of the restaurant have been shown to be retrofitted to show parking spaces and to meet the Landscape Manual parking requirements. We are proposing that landscape boulders be used to mark parking aisles where no marking is otherwise available. Regarding the existing trees being shown in the drive aisles on the water side of the restaurant, this is an accurate depiction of the current situation. Please see the attached photos. An additional view (Sheet 9) showing a larger-scale view of the parking area has been added to clarify the parking design.

We are not aware of any discrepancy between the existing site plan and existing site conditions. Some areas with a gravel surface have established grass due to recent disuse, but these are not within the area proposed for redevelopment nor within the MB zoning district. The counting of these areas affects total and R2 impervious cover only.

OPZ/Landscape (John Hilley)

1. The Request for Modification of Standards to the Landscape Manual was reconciled with conversations held between Chris Soldano, Lt. Clark, Danny Boyd, and Gerald Herson in September. The concept for the design proposal that resulted from that meeting was confirmed via emails (copy attached), dated Sept. 26, between Danny Boyd and Chris Soldano. A modification to the original request reflecting Lt. Clark's additional comment to extend the fire lane the full length of the building is attached.

Health Department (J. Thomas Gruver)

1. The existing well serving the boat slips, shown on sheet 4 of the plans, has been labeled to be abandoned. A new well location is shown on sheet 5 of the revised plans.

Fire Marshal (Lt. N. Wesley Clark)

1. The fire lane has been extended to the existing access road as a 12 ft lane located 10 ft from the structure, as shown on sheet 5 of the revised plans.

Critical Area Commission (Lisa Hoerger)

1. The waterfront buffer to be added as part of mitigation is shown in detail on Sheet 5 of the site plans. A buffer of at least 25 ft is provided except at the existing macadam water access, as shown on Sheet 5.
2. We note that it has been stated that the structure is not water-dependent. However, in accordance with Article 18, Section 13-104(b) of the Anne Arundel County Code, the subject property is in a buffer modification area, since it is part of a lot created before December 1, 1985. (The property was also operating as a marina prior to this date.) Therefore buffer mitigation is required, but a structure is permitted within the 100 ft buffer. The proposed structure and all of the proposed new impervious surface are within the footprint of previous development. The only pervious area within the building footprint, which is shown on sheet 2 of the site plans, are grassed/landscape areas adjacent to the existing bath house, ship store, and other outbuildings to be razed.
3. A planting plan, prepared by Ms. Jackie Colestock, RLA, is attached hereto for your review.
4. Proposed forest conservation area has been added to the critical area tabulation on the cover sheet of the site plans. Please note that the proposed improvements do not require preparation of a subdivision plat; however, a conservation declaration and it's

associated easement plat will be executed following agreement on the location and extent of conservation areas.

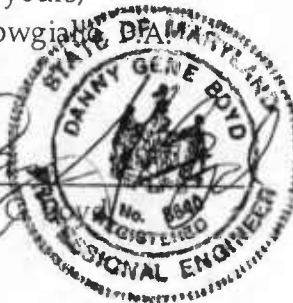
5. A response from DNR is attached. There are no references to threatened or endangered plant species on or near the site.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,
Boyd & Dowgia

By:

Danny G.



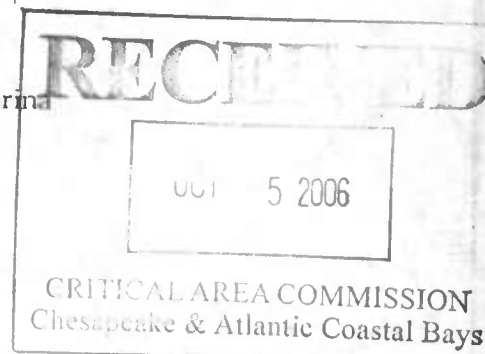
BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

September 14, 2006

Permit Application Center
Heritage Office Complex
2664 Riva Road
Annapolis, MD 21401

Re: Pleasure Cove Marina
G02011840
C# 05-068



Attn: Mr. Dan Gerczak

Dear Mr. Gerczak:

On behalf of our client, Pleasure Cove Marina LLC, owner of the above-referenced property, we are submitting herewith responses to the following comments dated August 9:

OPZ/Planning (Steve Callahan)

1. The conservation easement is a tentative location and may be revised given the results of the updated Critical Area Report – see attached.
2. The critical area report is forwarded herewith.
3. The developer does not yet have an architect for the proposed building. An unsealed sheet showing the general building profile in relation to land surfaces and other engineering elements is included in this submittal.
4. Buffer Management Area mitigation is addressed on the grading plan (Sheets 1 & 4) and in the landscape plans.
5. Noted.

OPZ/Utilities (Claudia O'Keeffe)

1. The proposed building will not be served by water except as may be required for fire service. A connection to the existing pump house is shown on the plans (it was excluded from the previous submittal) and is labeled as fire service.

OPZ/Engineering (Claudia O'Keeffe)

1. The gravel curtain drains will prevent overflow of the bioretention facilities. There will not be any overland flow out of the pools.
2. The gravel curtain drains are 350 ft long as proposed in the revised drawing. Since gravel offers virtually no resistance to infiltration, this length is more than sufficient to convey the ten-year storm. This is demonstrated in the revised stormwater management report. The one-inch rainfall will not enter the curtain drain since the drain is to be located at the top of the water-quality treatment volume and on the opposite side of the facility from overland inflows. Downspout discharge will enter the facilities near the bottom of the storage volume. Appropriate specifications have been added to the plans.

3. We feel strongly that given the waterfront setting, bioretention, as compared with infiltration or with other filters, is the most appropriate means of water-quality treatment for this site. Given current revisions to the site layout, it is possible to provide sufficient bioretention area with a 10 ft setback to the building, but not with the appropriate geographic distribution, i.e. at some locations the one-inch storm will not fill the structure to be provided, and at others the one-inch storm will overflow the area available for a structure. As shown on the revised plans the bioretention areas along the east side of the building are designed to allow some shallow temporary ponding within 10 ft of the structure for initial runoff and deeper ponding beyond the 10-ft setback. We will provide or forward any necessary certifications that the bioretention design does not impact the building. We also note that the referenced documentation on raingardens is simplified for the use of residential landowners. It is our opinion that the requirements for professionally designed or commercial raingardens have not been made clear.
4. Please clarify which features of the revised bioretention plan (if any) do not meet the requirements of Section 3.4. All required features except for flow diversion were previously provided in the design. It is not clear that flow diversion is required for downspout discharge, since these are small pipes that are difficult to subdivide, but in order to discourage excess flow to the bioretention pools a weir to the adjacent curtain drain has been included in the gravel diaphragm at each downspout discharge location.
5. Elevations for each berm are specified on the plans. There will be at least 0.3 ft of freeboard above the ponded volume; this will be more than adequate to convey excess inflow to the outfall via the curtain drain.
6. Section 5.2 of the manual does not indicate that any pretreatment is required for rooftop discharge; the 2003 Model Plan for Single Lot Construction indicates that a mulch layer is required for pretreatment of raingardens. In addition to a 3" mulch layer, the revised design incorporates at the location of downspout discharge an open forebay for velocity control and a gravel diaphragm. The prescribed measures of a sand filter layer or a 20 ft filter strip are impractical for use with downspout discharge under any circumstances.
7. This was a drafting error that has been eliminated in the revised design.
8. No new impervious area is being added on the west side of the building (the roof slopes to the east). Runoff from the square footage to be disturbed on the west side is included in the treatment volumes provided on the east side of the building. However, a small bioretention area has been added to the west side for treatment of the actual runoff from the west side.
9. The inclusion of curb and gutter was in error. The fire lane is to be a gravel bed overlain by grass. It is still treated as impervious area.
10. This has been corrected.
11. We respectfully disagree that the sand filter layer is to be included in the filter bed depth. The state manual clearly states that the quantity d_r is the depth of the filter bed media, i.e. the bioretention soil, and the equation for A_r is based on the drain time of that

media only. However, in order to provide a margin of safety and to account for the greater filter bed depth on the building side, the treatment volumes for the bioretention areas are sized based on inclusion of the sand filter layer.

OPZ/Traffic (Jane Elberti)

1. Noted.
2. Dimensions are noted on all drive aisles, as requested. In the gravel parking areas the orientation of parking spaces will be defined by the uncurbed grass islands shown on the plans.

Fire Marshal (Charles Disney)

1. Since the proposed building will derive fire coverage from Main Creek (as do the existing improvements on the subject site), there are no hydrants onsite. The fire department connection for the proposed building is located at the front streamward corner of the building and is within 100 ft of the water source. The fire lane designated in response to previous comments provides access to the opposite end of the building.

Critical Area Commission (Lisa Hoerger)

1. Mitigation of disturbed area within the 100-foot buffer has been addressed in the plans. Since the use of the proposed building requires direct access to the waterfront, mitigation adjacent to the disturbed area will not be compatible with the project. The required buffer area is provided elsewhere along the site waterfront. The absence of mitigation adjacent to the disturbed area will not result in a decline in buffer quality since the area to be disturbed is already paved.
2. See item #1.
3. Landscape plans are forwarded herewith.
4. Noted.
5. A copy of the critical area report is forwarded herewith.

OPZ/Landscape (John Hilley)

1. It is not clear how roofed boat racks, with necessary drive aisles between them, may be compared with a storage building that encloses the drive aisles. The onsite area dedicated to boat storage will be decreased by the proposed development, since the entire existing storage area to the north of the proposed building will be restored to a vegetated condition.
2. Noted.
3. Landscape buffer plantings have been provided along the Herson property line.
4. The zoning line is correct and is as shown on approved zoning maps.
5. Pictures of the existing buffer are provided herewith.

We appreciate your attention in this matter. If you have any questions or require any additional information regarding this permit application, please do not hesitate to contact our office.

Very truly yours,
Boyd & Dowgiallo, P.A.

By:



BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

June 9, 2006

Anne Arundel County
Office of Planning & Zoning
Attn: Dan Gerczak, Planner
2664 Riva Road
Annapolis, MD 21401

RE: Pleasure Cove Marina
Site Development Plan # C2005-068
Grading Permit #G02011840
Boyd and Dowgiallo Job #446

RECEIVED

JUN 14 2006

PLANNING AND ZONING
DEVELOPMENT

C05-006 8

Dear Mr. Gerczak:

We are responding herein to your letter dated April 28, 2006 in which comments are presented that are in need of resolution prior to approval of Site Development Plan #C2005-068.8 (Pleasure Cove Marina).

Our point-by-point responses to the County review comments are as follows:

I.

A. OPZ/Site Planning & Environmental

1. We do not believe that a variance is required, since the proposed building is one to be utilized for boat maintenance and repair, and as such is water-dependent. Also, the official maps within the Office of Planning & Zoning indicate that the Pleasure Cove Marina is buffer-exempt. There are today structures within the 100' buffer.
2. For the sake of clarity, a drawing is enclosed herewith that highlights the area of impervious coverage as it exists today, as well as that amount of impervious area that is to be removed during the redevelopment process.
3. A copy of the proposed architectural profiles will be presented to the Office of Planning & Zoning upon receipt by this office. It is our understanding that this is not an issue that will preclude approval of the Site Development Plan.
4. The completed forest conservation easement documents will be submitted to the Office of Planning & Zoning for processing upon completion of same. As stated in #3, it is our understanding that this is not an issue that will preclude approval of the Site Development Plan.
5. The Critical Area Report is in the process of being updated and will be submitted to the Office of Planning & Zoning immediately upon completion.

6. We welcome the opportunity to discuss, as necessary, buffer planting mitigation if required.

B. OPZ/Engineering

1. Analysis of the underdrain has been added to the stormwater management report. The pipe size has been increased to 15" (RCP).
2. Since runoff will enter the SWM facility along an extremely long profile, a diversion structure to isolate the water-quality volume is not practical. All runoff on the east side of the building will be directed to the bioretention area. Any volume above the one-inch runoff will bypass the facility via the gravel curtain and be conveyed through the underdrain.
3. The bioretention facility will be divided into separate pools of one foot in depth. The divisions are shown on the profile and a typical profile detail has been added to the plans.
4. A summary of existing relevant geotechnical investigations has been appended to the SWM report.
5. The bioretention area will be constructed in the same manner as a rain garden, for which there are no required setbacks. The proposed improvements contain no subgrade structures and will not be affected by the proposed location of the SWM device. Moreover, the location of the bioretention area as shown is determined by the presence of the required fire lane, which should not be flush against the structure.
6. The stormwater management volumes are based on the total impervious area within the LOD. However, it will not be practical to drain the narrow (13' maximum) strip of disturbed pavement on the west side of the proposed building to the SWM device on the east side of the building, since this would require that runoff be directed toward the building. Due to adverse slope, it is also not possible to drain the south side of the building in any direction other than to the direct discharge to Main Creek. These areas are existing impervious and do not currently provide any runoff control or treatment. To account for these areas the SWM facility will overmanage the remainder of the disturbed area.
7. The runoff coefficient has been revised based on the total area draining to the SWM facility (the previous computation included only the fire lane and roof area, and none of the adjacent open space). The water-quality and recharge volumes have increased somewhat due to the inclusion of the disturbed impervious area on the south and west sides of the building.

8. Overland flow will enter the SWM device only on the side facing away from the building. A typical downspout and splash block have been added on the building side of the detail. A mulch layer is sufficient pretreatment for roof runoff.
9. The bioretention detail has been corrected to show updated dimensions.
10. A gravel diaphragm has been added to the bioretention detail. The gravel curtain has been moved to the building side of the facility in order to ensure good drainage adjacent to the building.
11. Noted. However, the filter bed storage equation is based on the relationship between the depth of the filter bed material and its permeability. If the sand layer is included in the depth of the facility (increasing the depth from 2.5 to 3.5 ft), then the average permeability is not the same as the value for 3.5 ft of bioretention soil. The coefficient of permeability should therefore be weighted to include the sand layer. This would substantially decrease the required filter bed area of the bioretention area (the required temporary storage would then be used to determine the size). As revised herewith the computations use a depth of 2.5 ft and the permeability of bioretention soil.
12. This computation has been corrected.
13. The updated computations reflect revision of the coefficient of permeability for the bioretention soil layer to 0.5 ft/day.

C. OPZ/Traffic

1. Please see the enclosure as submitted by Traffic Concepts.
2. As we have previously stated, there is not today, nor is there to be a water access ramp/boat launch area for trailered boats. Trailer spaces are thus not required.
3. Parking areas are delineated on the enclosed Site Development Plan and can be designated by placement of wheel stops as necessary. As stated earlier, there are no trailer spaces.
4. We have addressed the issue of fire lanes with the Fire Marshal's office and have reflected their comments on the enclosed Site Development Plan.

D. OPZ/Landscape

1. The existing area of coverage is not being expanded by more than 50 %, and we therefore do not believe that the requirement for 50% foundation planting applies.

2. As stated in #1, the expansion does not involve a 50 % increase in gross square foot area.
3. We await response from the Office of Planning & Zoning concerning the modification to landscape requirements, specifically property line buffers.
4. Via a lot consolidation, we are going to incorporate the referenced Herson property into the overall body of the Marina area, therefore negating any need for landscape buffer plantings at this location.
5. The zoning line between the MB and R2 areas at the Herson property line is positioned according to official maps in the Office of Planning & Zoning. We believe that there may have been a drafting error in preparation of the zoning maps, since typically the zoning demarcation line would coincide with property lines.
6. We do not believe that a planting buffer at the southeast corner of the site is necessary, since the area today is heavily screened and will remain so. Tree protective fence has been added in this area on the drawings.

E. Fire Marshal Division

1. Drafting is to be used to accommodate the sprinkler connection, and the appropriate area has been designated a fire lane.
2. The turn radius for the fire lane has no less than a 38-foot inside radius, and the fire lane is 20 feet in width.

F. Critical Area Commission

1. The 15% referenced on the Site Development Plan is that percentage of the entire area set aside to comply with the County "Tree Bill." The area set aside is greater than 30% of the existing forested area.
2. As of this writing, we have not had a response from the Department of Natural Resources with any specific comment relative to supposed threatened and endangered plant species. We respectfully request assistance from the Critical Area Commission in defining further the concern expressed by the Department of Natural Resources.

G. Health Department

It is our understanding that the Health Department must review and approve the revised Site Development Plan. As of this writing we have had no comment from that agency.

II.

A. Fire Suppression

See I.E.

B. Storm Drains

See I.B.

C. Roads

See I.C.

D. Utilities

It is recognized that the Health Department must approve the Site Development Plan.

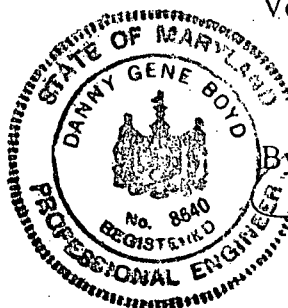
E. Schools

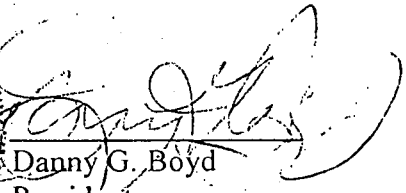
It is recognized that school adequacy is not required for this project.

III. A submittal package for each review agency is enclosed with this response, addressing items expressed in the April 28, 2006 letter.

We will anxiously await recommendation of approval to the Site Development Plan for Pleasure Cove Marina.

Very truly yours,



By 
Danny G. Boyd
President
Boyd & Dowgiallo, P.A.

BOYD & DOWGIALLO, P.A.

Engineers, Surveyors & Planners

March 15, 2006

Anne Arundel County
Office of Planning & Zoning
Heritage Office Complex
2664 Riva Road
Annapolis, Maryland 21401

Re: Pleasure Cove Marina - Site Development Plan
Sub. #C2005-068
G.P. # 02011840

Attn: Mr. Dan Gerczak

Dear Mr. Gerczak,

We have received the review comments regarding the Site Development Plan of the above-referenced commercial project and are offering the following point-by-point response to those agencies withholding approval:

AGENCY REVIEW RESPONSE COMMENTS

I. SDP Issues

- A. Noted.
- B. Noted.
- C. Noted.

II. Agency Review Comments

A. OPZ/Planning, Dan Gerczak (letter dated 1/20/06)

1. A variance to Article 18-10-133(1) is not required since the building is to be used for maintenance and repair.
2. A variance to Article 18-2-403 is not required since the maintenance and repair building is not an accessory use.
3. The Critical Area Report incorrectly identified the impervious area. Also, this was done in the context of a rezoning application for a portion of the property.
4. Architectural plans are being forwarded under separate cover for your review as requested.
5. A Forest Conservation Area is shown on Sheet 4 of 6. A Forest Conservation Agreement will be submitted prior to the Site Development Plan approval.
6. An updated Critical Area Report will be forwarded under separate cover. The impervious acreage previously shown on the plan is correct.

B. OPZ/Engineering & Utilities, Claudia O'Keeffe (letter dated 1/20/06)

- Utilities
1. The site is already served by an existing septic system designed to accommodate the existing development at the property. The proposed maintenance and repair building will have no sanitary facilities.

Engineering

1. The swale along the eastern side of the maintenance and repair building drains directly to Main Creek.
2. Topography has been extended 100 feet beyond the property line around the entire property boundary, as requested.

3. The site has been re-graded to eliminate drainage to the adjacent Gast property.
4. Aerial photos were not relied upon to determine impervious areas. The calculations were based upon numerous site visits and field surveys.
5. The maintenance and repair building no longer has an overhang.
6. See the Stormwater Management Note on Sheet 1 of 6.
7. A bioretention area along the easterly side of the proposed building will provide water quality management for the proposed building.

C. OPZ/Traffic, Jane Elberti (letter dated 1/20/06)

1. The maintenance and repair building with a capacity of 98 boats supplants the existing racks which can contain 200 boats.
2. The parking calculation chart has been amended. Also, there is no boat ramp and thus trailer spaces are not required to be provided.
3. All proposed drive aisles and parking spaces have been labeled and dimensioned. No trailer spaces are proposed.
4. The fire lane has been labeled, as requested.
5. The Landscape Plan inadvertently showed residential lots that were the topic of a previous plan.

D. OPZ/Landscape, John Hilley (letter dated 1/24/06)

1. Street trees have been provided along Poplar Ridge Road, as requested.
2. The Landscape Architect will address understory shrubs via the Landscape Plan.

E. OPZ/Fire Marshall, (letter dated 1/2/06)

1. An automatic sprinkler system will be provided for the building and Architectural Plans will be forwarded to your office when site issues have been resolved with the Office of Planning & Zoning.
2. Fire access has been provided such that all exterior portions of the building lie within 150 feet of a vehicular access point, as requested.
3. Fire lanes have been provided in accordance with all applicable fire lane requirements. Please note, an overhang is no longer being proposed on the structure and all fire lane requirements are now being met.
4. We have revised the plan to show a twin fire connection located such that it falls within 100 feet of a paved surface, as requested.
5. The fire department connections have been placed such that they are within the required 100 feet distance of a fire hydrant or water source, as requested.

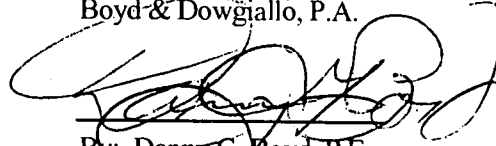
F. Critical Area Commission, Lisa A. Hoerger (letter dated 1/23/06)

1. Noted.
2. We have incorporated the use of a bioretention area along the eastern side of the building to capture and treat runoff prior to its reaching Main Creek in an attempt to provide as much water quality treatment as possible for the improvements.
3. Existing impervious area is reduced by removal of gravel toward the front of the site.
4. The pre and post development impervious areas have been field verified by our office and the plans have been revised, where necessary, to reflect the currently existing and post-development conditions.
5. We have provided a total of 3.39 acres of existing forested area to be placed within a permanent forest conservation easement to fulfill the critical area forest retention requirements.
6. DNR will be consulted regarding plant species.
7. A new Critical Area Report will be forwarded under separate cover at a later date.

We appreciate your attention in this matter, and if you have any questions, or require any clarification regarding the above-mentioned responses, please feel free to contact us at your earliest convenience.

Very truly yours,

Boyd & Dowgiallo, P.A.

A handwritten signature in black ink, appearing to read 'Danny G. Boyd', is written over a horizontal line.

By: Danny G. Boyd, P.E.
President

J.O#446

Cc: file

Jerry Herson

Enclosures

STORMWATER MANAGEMENT
COMPUTATIONS

For

PLEASURE COVE MARINA
Prop. Boat Storage Building

Pasadena, MD 21122



March, 2006

By

Boyd & Dowgiallo, P.A.
7678 Quarterfield Road
Suite 201
Glen Burnie, MD 21061
410/863-1234

RECEIVED
PLANNING AND ZONING
DEPARTMENT

MAR 23 2006

RECEIVED

RECEIVED

MAR 27 2006

CRITICAL AREA COMMISSION

As stated in Article 21, Section 3-102 of the Anne Arundel County Code, the purpose of Stormwater Management is "to protect and promote public health, safety and general welfare through the management of stormwater, to protect public and private property from damage, to reduce the effects of land use changes on stream channel erosion, to maintain and assist in the improvement of water quality, to preserve and enhance the environmental quality of streams and stream valleys, and to minimize adverse impacts on water quality and conserve plant, fish, and wildlife habitat."

In accordance with The General Performance Standards, outlined in the 2000 Maryland Stormwater Design Manual, the following Performance Standards shall be considered at all sites, to prevent adverse impacts from stormwater runoff, where stormwater management is required:

- Standard No. 1: Site designs shall minimize the generation of stormwater runoff and maximize pervious areas for stormwater treatment.
- Standard No. 1a: The use of nonstructural stormwater management practices shall be implemented to the maximum extent practicable for satisfying the recharge volume requirement prior to the use of structural stormwater management practices to more closely mimic the pre-development hydrology and to discourage the reliance on structural BMP's.
- Standard No. 6: The post-development ten-year peak discharge must not exceed the pre-development peak discharge, where it is required.
- Standard No. 7: Stormwater discharges to critical areas with sensitive resources may be subject to additional performance criteria or may need to utilize or restrict certain BMP's.
- Standard No. 9: All BMP's shall have an enforceable and recorded operation and maintenance agreement to ensure the system functions as designed.
- Standard No. 12: Stormwater discharges from land uses or activities with higher potential for pollutant loading may require the use of specific structural BMP's and pollution prevention practices.

INTRODUCTION

The subject property is known as 1701 Poplar Ridge Road or Pleasure Cove Marina as shown on Anne Arundel County Maryland tax map 18, block 14, parcel 73. The property is located along Main Creek in the community of Poplar Ridge in Pasadena, Maryland and comprises 22.17 acres of land zoned MB and R2. Approximately, 21.48 acres of the property lie within the Chesapeake Bay Critical Area and have the designation of RCA and LDA. The existing improvements to the site include a restaurant, a ship-to-shore store, a boat maintenance building, boat storage racks and recently installed boat piers and slips within the MB zoned portion. The property contains 7.56 acres of existing woodlands located within the RCA critical area. The site is served by a private well and a septic system. Slopes vary from 0.25% near the northern property boundary over 25% along some areas adjacent to the shoreline of Main Creek. Tidal wetlands are present along the shoreline of Main Creek and a few isolated areas of steep slopes have been identified, as well, within the RCA portion of the property. Sensitive habitats for fish, birds, plants, and wildlife have also been identified within the RCA critical area.

The planned development of the property includes the construction of a 125,600 sq. ft. boat storage and maintenance building and the demolition of the existing boat maintenance building, marina offices, ship-to-shore store and areas of the site used for parking, drive aisles and outside boat storage. All of the proposed development will occur within the MB zoned portion of the property.

The proposed improvements will result in the disturbance of approximately 6.12 acres of land and reduce the existing impervious cover from 9.28 acres to 7.08 acres over the entire site. The proposed development will not require the clearing of any existing forested area. Although the proposed improvements will not generate an increase in impervious cover, water quality and groundwater recharge will be provided for the proposed boat storage building and fire lane.

SOIL & FACILITY INVESTIGATION

The Anne Arundel County Soil Survey indicates that the site is underlain by soils of the Russett-Alloway-Hambrook Complex, Sassafras sandy loam, and the Patapsco-Fort Mott Urban Land complex. The Russett-Alloway-Hambrook soils and the Sassafras sandy loam soils have hydrologic soil designations of "B". The Patapsco-Fort Mott soils have a hydrologic soil designation of "A". All of the soil types covering the site have good infiltration rates and water capacities and are generally suitable for infiltration purposes.

CONCLUSION

In accordance with the 2000 MDE Stormwater Design manual, water quality volume for the proposed improvements has been provided within a long narrow bioretention area located adjacent to the east side of the proposed boat storage/maintenance building. Recharge volume has been provided within a stone filled reservoir located directly beneath the underdrain of the bioretention facility.

Channel protection volume, overbank flood protection volume, and extreme flood protection volume is not required since the site discharges directly to a tidal outfall.

STORMWATER MANAGEMENT COMPUTATIONS

I. Water Quality Volume

New Building area & New Drive aisles : 3.20 ac

For the purpose of this computations the site has been defined as the proposed building and fire lane.

Total proposed impervious area: 3.20 ac. (new impervious area only)

Total Site Area = 3.20 ac.

$R_v = 0.05 + (0.009)(I)$ and $I = \text{percent Impervious cover} = 3.20/3.20 = 100\%$

$R_v = 0.05 + 0.009(1) = 0.95$

$WQ_v = (P)(R_v)(A)/12 = (1.0)(0.95)(3.2)/12 = 0.253 \text{ ac.-ft.} = 11,035 \text{ cu. ft.}^*$

***In accordance with Chapter 2, Section 2.2 of the MDE Manual, when treated separately, the R_v may be subtracted from the WQ_v when sizing the BMP. Therefore, the recharge volume will be subtracted from the total required water quality volume to size the BMP (see Recharge Volume Calculations for required recharge volume).**

Therefore, the required water quality volume to be provided is equal to: $(11,035 - 4,635) = 6,400 \text{ cu. ft.}$

A bioretention facility will be designed to provide the required water quality volume area will have an underdrain that discharges into Main Creek along the southern property boundary. Overflow for the ten-year storm will be provided by an inlet on the southernmost end of the bioretention area. A stone-filled reservoir will be provided below the underdrain of the bioretention facility to provide the required recharge volume.

Design Calculations – Bioretention Device for Water Quality Volume

Pretreatment

Adequate pre-treatment for a bioretention system is provided when all of the following techniques are employed:

1. A 20 ft. grass filter strip below a level spreader or an optional sand filter layer.
2. A gravel diaphragm
3. A 2" TO 3" mulch layer.

The bioretention area will be provided with a sand filter layer, a gravel diaphragm, and a 3" mulch layer to meet the pre-treatment water quality requirements.

Treatment

The treatment requirements for the bioretention system are as follows:

The entire treatment system (including pre-treatment) shall temporarily hold at least 75% of the WQ_v prior to filtration, or:

$$\begin{aligned}V_{\text{temp}} &= (0.75)(6,400 \text{ c.f.}) \\ &= 4,800 \text{ c.f.}\end{aligned}$$

In accordance with Maryland Aviation Administration Design Criteria, a 50%/50% mixture of sand and leaf compost will be used within the bioretention facility to reduce the coefficient of permeability and the filter bed drain time, therefore;

The recommended filter bed depth (d_f) for a bioretention system is 1.5 to 4.0 ft. For this design, use $d_f = 2.5$ ft. The coefficient of permeability, (k), for bioretention systems = 1.5 ft./day. The average height of water above the filter bed (h_f) = 0.5 ft. (Note: the maximum ponding depth for a bioretention area is 1.0 ft.) The design filter bed drain time (t_f) = 1.0 days. Therefore:

The min. required filter bed area can be found by using the following equation:

$$\begin{aligned}A_f &= (WQ_v)(d_f)/[k \times (h_f + d_f) \times t_f] \\ &= (6,400)(2.5)/[1.5 \times (0.5 + 2.5) \times 1.0] \\ &= 4,571 \text{ sq. ft.}\end{aligned}$$

Provide a bioretention area with the dimensions of 4'W x 800'L x 2.5'D to provide the required water quality volume.

Check

A check must be made to determine if the bioretention area as designed meets the minimum temporary storage volume requirements, as calculated above:

$$\begin{aligned}\text{From above, } V_{\text{temp}} &= V_{\text{treatment}} \\ &= (1.0 \text{ ft.})(3,200 \text{ s.f.}) + (2.5 \text{ ft.})(3,200 \text{ s.f.})(0.4) \\ &= 6,400 \text{ c.f.} \\ &\text{(Note: 0.40 is the porosity of the filter media.)}\end{aligned}$$

Since the required storage volume is provided with the minimum recommended surface area, use a bioretention system with the dimensions 800'L x 4'W x 2.5'D to provide the required water quality volume.

II. Recharge Volume

Recharge required for the property is based upon the Maryland Department of the Environment's 2000 Stormwater Management Design Manual Section 2.2 and is determined according to the following equation:

$$Re_v = \frac{(S)(R_v)(A)}{12}; \quad 4,635 \text{ cu. ft.}$$

where,

S = soil specific recharge factor = 0.42 for type "A" hydrologic soil groups

R_v = volumetric runoff coefficient, determined by the equation
 $0.05 + 0.009(I)$; where I = the percent impervious cover

A = the site area, 3.2 ac.

Proposed total impervious area = 3.2 ac.

The volumetric runoff coefficient for the proposed improvements is equal to:

$$R_v = 0.05 + 0.009(3.2/3.2 \times 100) = 0.95$$

The required recharge volume can be computed as:

$$Re_v = (0.42)(0.95)(3.2)/12 = 0.106 \text{ ac. ft.} = 4,635 \text{ cu. ft.}$$

Given the dimensions of the surface area of the bioretention area, the minimum required depth (D) of #2 stone required to provide the recharge volume may be determined as,

$$D = Re_v / (\text{Bioretention Area}) \times 0.40 \quad (0.40 \text{ is the porosity of the gravel medium below the proposed bioretention area})$$

$$D = \frac{4,635}{(0.40)(800 \text{ ft.})(5.0 \text{ ft.})} = 2.9 \text{ ft.}$$

Therefore, a stone-filled reservoir with the dimensions of 5' W x 800'L x 2.9' D will be provided below the underdrain system of the bioretention facility to provide the required groundwater recharge volume.

III. Channel Protection Volume

In accordance with Chapter 2, Section 2.3 of the 2000 MDE Manual, the Channel Protection volume is not required since the site has a direct discharge to a tidal headwater.

IV. Overbank Flood Volume

In accordance with Chapter 2, Section 2.3 of the 2000 MDE Manual, the Overbank Flood Protection Volume is not required since the site has a direct discharge to a tidal headwater.

V. Extreme Flood Volume

In accordance with Chapter 2, Section 2.3 of the 2000 MDE Manual, the Extreme Flood Protection Volume is not required since the site has a direct discharge to a tidal headwater.

PLEASURE MARINE CENTER

1701 POPLAR RIDGE ROAD, PASADENA
CRITICAL AREA REPORT

C 05-0068

RECEIVED

DEC 21 2005

PERMIT APPLICATION CENTER

PREPARED FOR:
BOYD & DOWGIALLO, P.A.
7678 QUARTERFIELD ROAD, #201
GLEN BURNIE, MD 21061

PREPARED BY:
CATTAIL CONSULTING
POST OFFICE BOX 1599
SEVERNA PARK, MD 21146

410-544-0133

APRIL 2003

RECEIVED

DEC 27 2005

CRITICAL AREA COMMISSION

CHESAPEAKE BAY CRITICAL AREA REPORT
CHECK LIST
Anne Arundel County, Maryland



TO: Property Owners in the Chesapeake Bay Critical Area

DATE: 4-12-03

FROM: Department of Planning and Code Enforcement

SUBJECT: Information Required for Submission of Critical Area Report - Zoning Applications

Zoning Case Number _____ Applicant's Name HERSON, GERALD
Critical Area Classification LDA/RCA IDA; Tax Map 18 Block 14 Parcel 73

Your property is located within the Chesapeake Bay Critical Area. In reviewing your application, Planning and Code Enforcement must determine the impact your proposal will have on stormwater management and plant and animal habitat in conformance to Critical Area criteria. Your plan must meet the criteria for your classification and satisfy COMAR 14.15.11 regarding variances. You are responsible for supplying five copies of the VICINITY MAP, NARRATIVE STATEMENT AND PLAN to the Zoning Administration Division of the Department of Planning and Code Enforcement with your zoning application. Applications within the Critical Area will not be accepted without a complete Critical Area Report.

1. A brief explanation of why you need a variance or special exception. If you have applied for a building or grading permit, please list the permit number(s). _____
2. A VICINITY MAP showing clear directions to your property and the address.
3. A short, 1 or 2 sentence per item, NARRATIVE STATEMENT which provides the following information (if checked):

☒ Type of predominant trees and shrubs (maple, oak, evergreen, etc.) on the entire parcel. (At least 15% of the lot must have trees and shrubs or additional plantings will be required. Trees and shrubs must cover the area 25' from the water on waterfront lots except for access area.)

☒ Method of control of rainwater from existing and proposed structures, driveways and parking. (Where does it go now? Where will additional runoff go? Any special techniques?)

☒ Methods to minimize impacts on water quality and habitat from proposed construction (e.g. stormwater management, sediment control, replanting, avoiding slopes).

☒ Square footage of site that is currently wooded or has trees and shrubs; square footage to be disturbed by proposed work; acreage of lot; total impervious coverage before and after work (Any lot in LDA or RCA that is 21,780 square feet or less cannot have more than 25% impervious surface covered unless further restricted by plat. Lots over 1/2 acre cannot exceed 15% coverage.)

☒ Habitat protection areas: Buffers, expanded buffers, wetlands, rare and endangered species, anadromous fish propagation waters, colonial water bird nesting sites, historic waterfowl staging and concentration areas, riparian forests 300' or more in width, forested blocks 100 acres or more, natural heritage areas, plant and wildlife habitats of local significance.

4. A PLAN of your property, drawn to scale (a plot plan, grading plan or building location survey can be used) showing (if checked):

☒ Steep slopes (15% or greater - show any slope if you aren't sure of percentage of slope)

☒ Existing tree line, individual trees and all proposed clearing, grading or any disturbance

☐ Wetlands (tidal and nontidal)

☐ Floodplain (tidal and nontidal)

☐ Any proposed planting or landscaping on property NONE @ THIS TIME

☒ Other (water depths, buffers as shown on record plat, habitat protection areas as identified in 3e, and plat notes)

5. ONE copy of a Notification of Project Application supplied with this check list.

Residential lots in IDA will be required to meet the criteria for LDA. Special circumstances where LDA criteria cannot be met will be reviewed in conjunction with the Critical Area Commission. Commercial, institutional or industrial uses in IDA must meet the 10% Pollutant Reduction Rule. If you have any questions or need assistance, please contact Lori Allen at (410) 222-7459.

PLEASURE MARINE CENTER

CRITICAL AREA REPORT

INTRODUCTION

Pleasure Marine Center is located at 1701 Poplar Ridge Road in Pasadena. The site is almost 27 acres in size, with 25.5 acres being in the Critical Area (13.43 Limited Development area and 12.03 Resource Conservation Area). The remaining acreage is a grassed area located outside the Critical Area. Currently the property is zoned R-2 to all R-2 and MB (Marine Group B). This Critical Area Report is to accompany a request of a growth allocation in the Critical Area to change the Resource Conservation Area to Limited Development Area. Concurrently there will be a request to change the zoning from MD and R-2. The project has been reviewed with Critical Area Commission staff and the staff is in favor of the changes.

VICINITY MAP

Included in this report and shown on the attached plan is a vicinity map designating the location of the subject site. Also included in the report are portions of the County soil survey, the non-tidal wetland map of the area, and the Critical Area Map with the site located.

NARRATIVE

EXISTING CONDITIONS

Presently, the site is used as a commercial marina providing a considerable amount of slip space in the water and boat storage on land. There are several buildings supporting the marina business, residential dwellings, and a restaurant and swimming pool. Much of the site is covered by an impervious surface, though in many places that impervious surface is gravel rather than pavement.

Approximately 10 acres of the site is wooded with several forest types. Along the western portion of the site adjacent to Perry Cove and partially within the steep slopes and shoreline buffer is a mature oak stand dominated by chestnut, white and southern red oaks. The under-story contains black cherry, sassafras, and holly, with scattered greenbrier, lowbush, blueberry, and raspberry being found in the shrub layer. Given the variety and vigor of the species found in this stand, it should be considered a priority retention area.

Located in the center portion of the woodland is a pine stand dominated by Virginia and pitch pines, with scattered southern red oak in the over-story. The under-story contains red maple, holly, and sassafras, while the shrub layer is comprised of holly, lowbush, blueberry, and greenbrier. This stand is fairly mature and would suffer from windthrow when openings are created by clearing some of the pines. It is not a priority retention area.

The third forest stand is located adjacent to the entrance road to the site. It is the least desirable stand because many of the species found here are pioneer and/or invasive species (black cherry, persimmon, black locust) and the area is overgrown with vine species such as greenbrier,

raspberry and thick Japanese honeysuckle. Many of the trees found in this area are either dead or dying and should be removed as a safety issue if for no other reason.

which? { The remainder of the site not developed or wooded was previously cleared for a dredge spoil site or septic areas and is vegetated with old field vegetation, grass, or barren. There are several specimen trees located on the property and noted on the plan. Many areas of the pine and pioneer forest stands contain garbage, debris, furniture, vehicles, etc. Further development of the site would require these waste products be removed.

While no wildlife of note was seen the day of the fieldwork, wildlife is expected to use the site. The woodland, in particular, the oak stand, provides a variety of food sources as well as nesting material and sites. Deer tracks were seen in the open area next to the woodland. It is likely that residential bird species would be found on the property, as well as small mammals (squirrels, raccoons, foxes, etc.) along with reptiles such as snakes and turtles.

There were no rare, threatened or endangered species found, nor were any historic or archaeological features seen. No wetlands were found onsite. Steep slopes and their buffers are shown on the plan. The soil types (Evesboro and Loamy & Clayey) are neither hydric nor highly erodible.

STORMWATER MANAGEMENT

At this time there is little stormwater management on the property. Because the site has a gentle, but steady, slope towards the water, most stormwater runs into Main Creek. Given the amount of impervious coverage, this presents quite a sediment and stormwater runoff load into the creek. With the reclassification and rezoning of the site, stormwater management will be required bringing the site into compliance with today's regulations. The specific methods of stormwater management will be determined but will involve both water quality and quantity management.

IMPACT MINIMIZATION

Reclassification of the Critical Area overlay and rezoning of the MB portion to R-2 will result in an improvement to much of the site, while causing no harm to the remainder of the site. The main improvement to the site will be the compliance with today's stormwater management regulations. With the removal of the marina and boat storage operation, the amount of work done on the boats (engine work, bottom scraping and painting, for example) will be less and any debris created by those processes will cease. Once the public marina and restaurant operations close, the amount of traffic entering and leaving the site will be lessened also, which is good for the surrounding communities.

Any further redevelopment will have to be in compliance with Critical Area and zoning regulations, such as density, forest clearing, buffer requirements, etc. Steep slope areas will be maintained and there will be no further incursion into the 100' buffer to tidal water. Also, and importantly, all of the garbage on the property will have to be removed, lessening the amount of debris being washed off that garbage and into the creek.

HABITAT PROTECTION AREAS

The Habitat Protection Areas located onsite include the shoreline, the 100' buffer to the shore, and the steep slope buffers, expanded where necessary because the steep slope abuts tidal water. All of these areas will be maintained in their present condition with any future development of the property.

PROPOSED CONDITIONS AND SITE CALCULATIONS

The preferred conditions of the site will include the development of the property into an R-2 subdivision and the removal of the present marina business and restaurant. With development of the site, 70-80% of the woodland will be maintained, as required by Critical Area regulations, and the amount of impervious coverage will not exceed that presently found on the property. The present site calculations are as follows:

Total site area	26.88 acres
RCA portion	12.03 acres
LDA portion	13.43 acres
Portion outside the CA	1.42 acres
Existing woodland in the CA	10.02 acres
Existing impervious in the CA	6.92 acres

CONCLUSIONS

Reclassification and rezoning of the subject property will be an improvement to the natural environment of the site and also to the water bodies adjacent to the site. Presently, there is a lot of garbage, including furniture, vehicles, and machinery, located in the forest, and creosote soaked timbers in the field, all of which release fluids and particles into the water whenever there is a storm event washing over them. All of that material will have to be removed with development of the site. The boat storage facility necessitates a great deal of truck and equipment use on the site, again with the potential to release oil, gas, and grit into the waters around the site. Much of this will be lessened or removed if a subdivision is allowed to be constructed.

The more desirable forest stand is located to the rear of the property and will be maintained if the site is allowed to be developed. The other two forest stands, pine and pioneer/invasive, may be removed and replaced with more food source and habitat friendly species, increasing the amount and variety of wildlife use of the site.

Finally, and most importantly, if the site is allowed to be developed, sediment control and stormwater management will become integral parts of the process and serve to improve both the quality and quantity of stormwater discharge from the site.

PLANS

Attached to this report is a plan showing the existing conditions of the site and the portions of the site proposed to be reclassified and rezoned.

ADDITIONAL INFORMATION

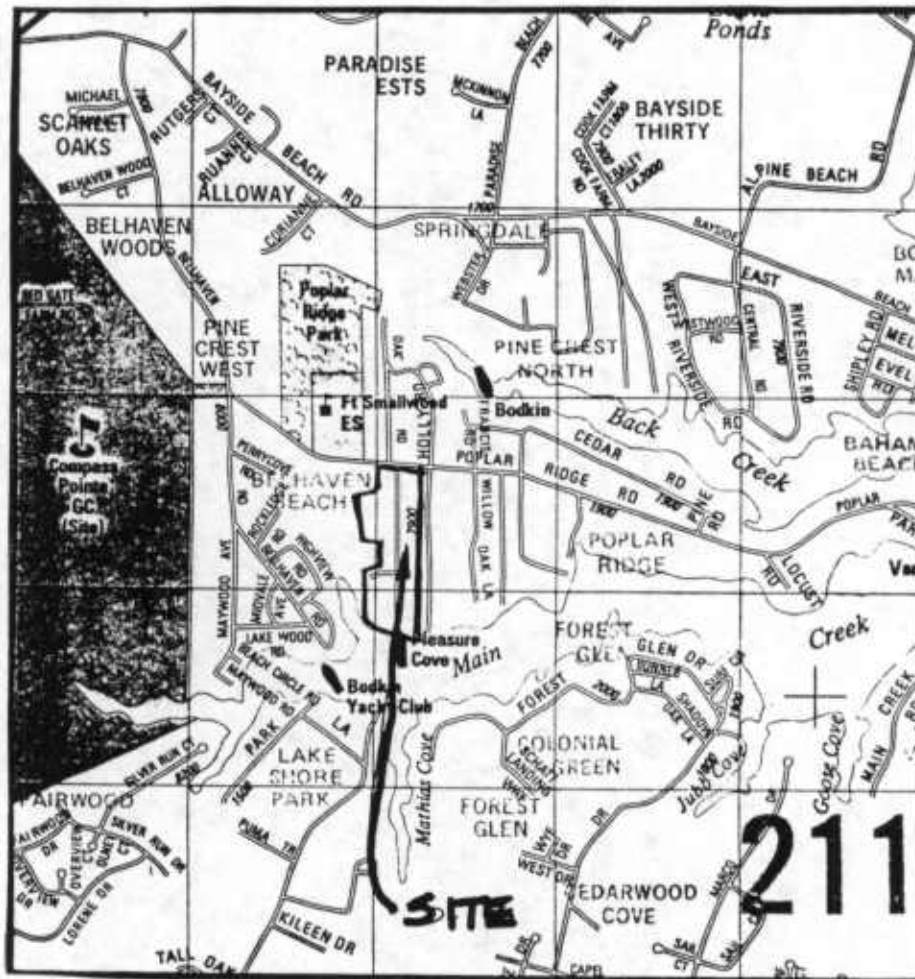
Attached to this package is a Notification of Project Application for the Critical Area Commission.

The fieldwork was conducted on 3/26/03.

PLEASURE MARINE CENTER

1701 POPLAR RIDGE ROAD, PASADENA

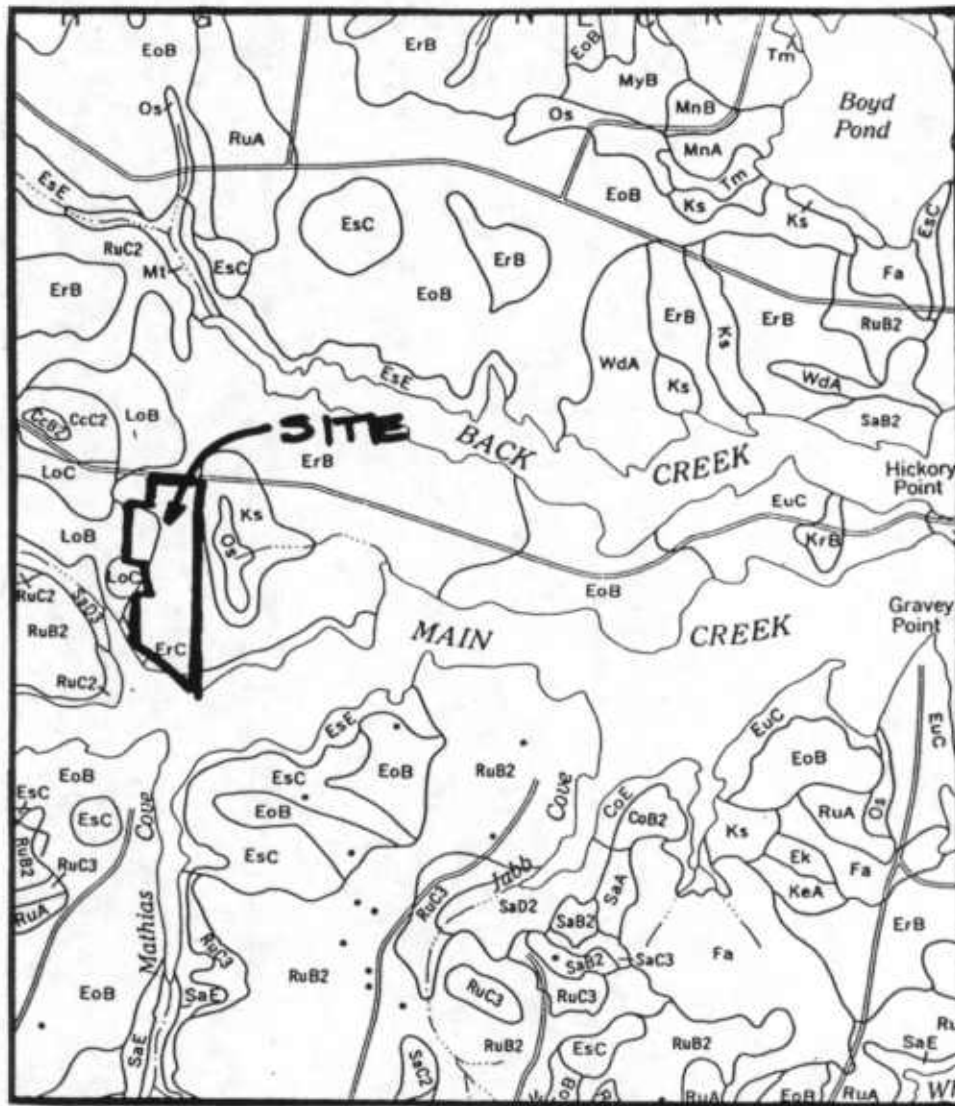
VICINITY MAP
1" = 2000'



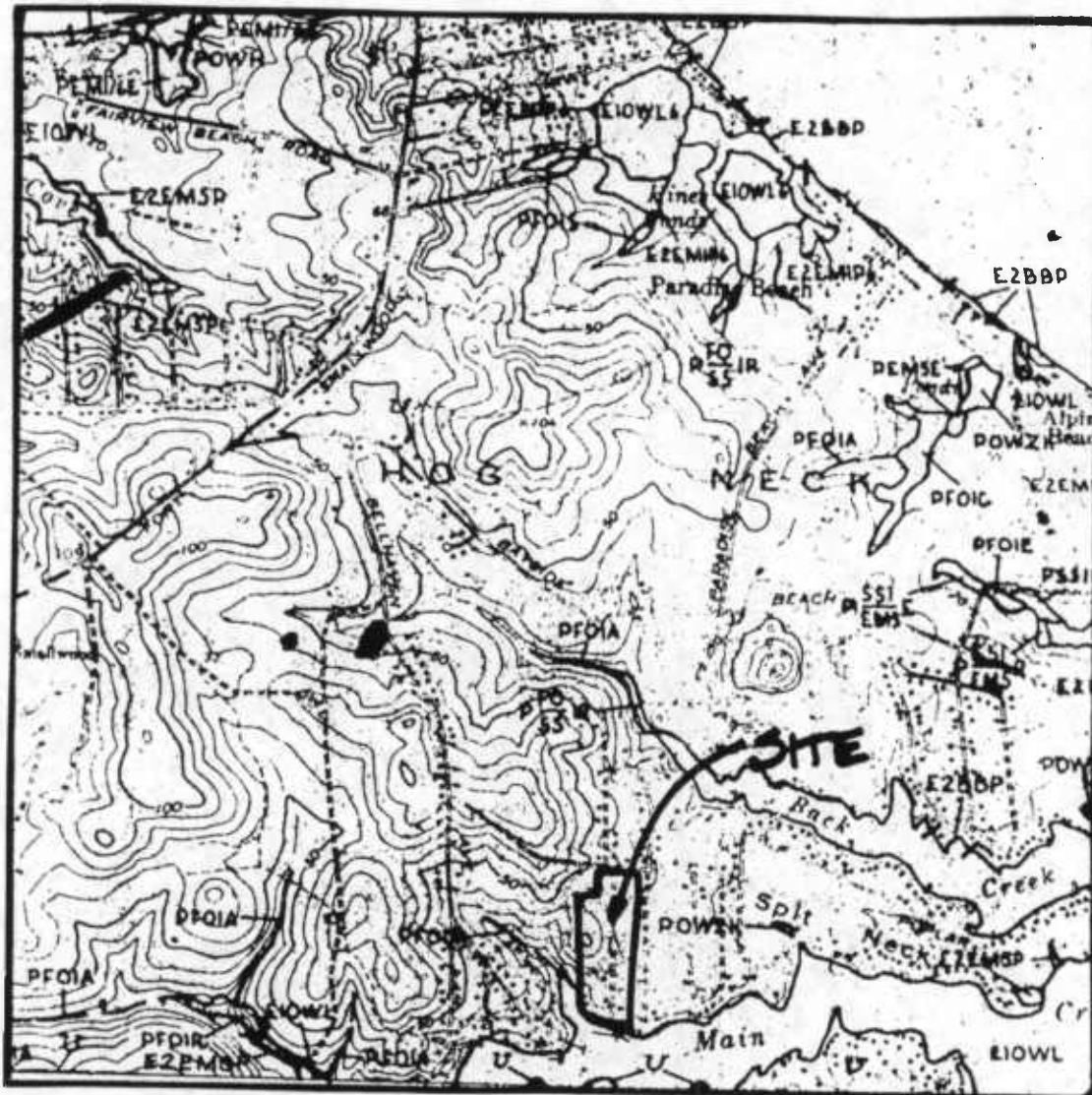
PLEASURE MARINE CENTER

1701 POPLAR RIDGE ROAD, PASADENA

SOIL SURVEY
1" = 1666'

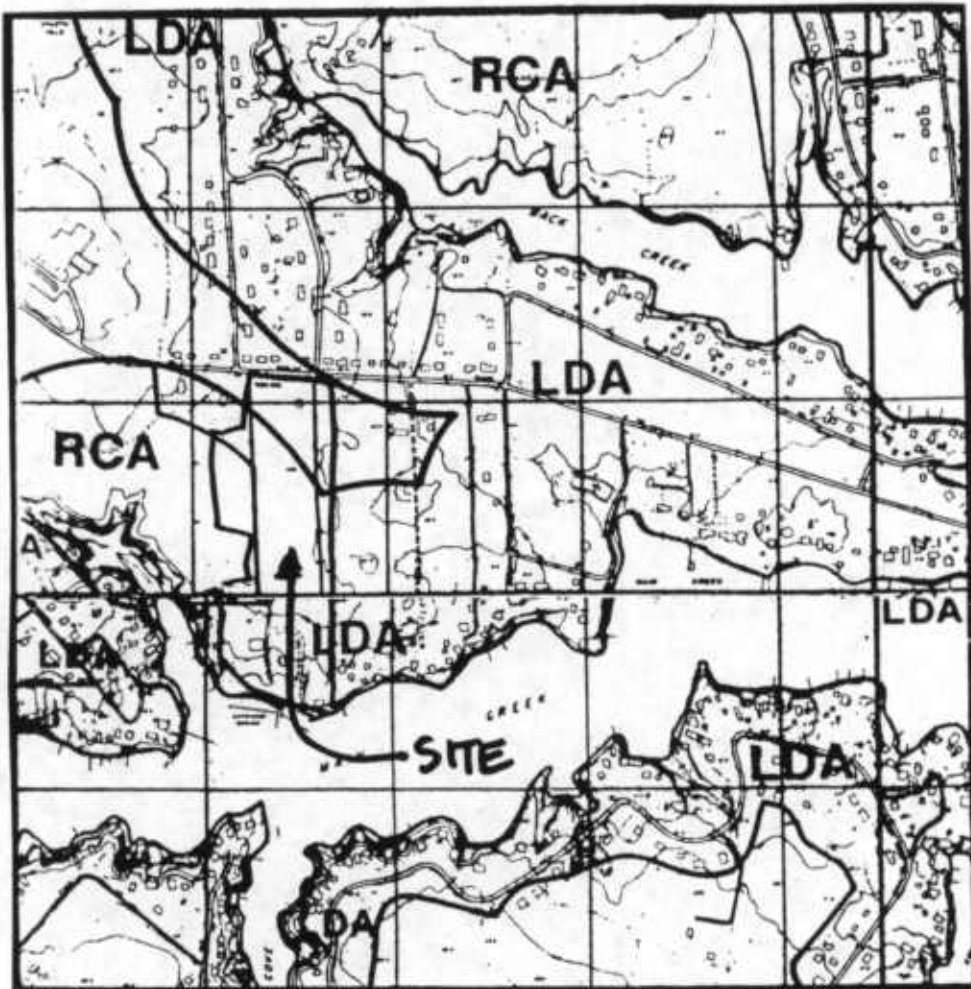


NONTIDAL WETLAND MAP
1" = 2000'



PLEASURE MARINE CENTER
1701 POPLAR RIDGE ROAD, PASADENA

CRITICAL AREA MAP
1" = 1000'





Cattail Consulting

(410) 544-0133

Fax (410) 647-2783

P.O. Box 1599 • Severna Park, MD 21146

April 12, 2003

Lori A. Byrne
Wildlife & Heritage Division
Tawes State Office Building, E-1
580 Taylor Avenue
Annapolis, MD 21401

**RE: PLEASURE MARINE CENTER
ANNE ARUNDEL COUNTY**

Dear Ms. Byrne,

Enclosed you will find two copies of the vicinity map for the referenced project. At your convenience, please have your staff conduct an environmental review of the site and forward the results to my office.

Thank you for your time and assistance.

Sincerely,


Nancy L. Matthews

Encl.



Robert L. Ehrlich, Jr.
Governor

C. Ronald Franks
Secretary

Michael S. Steele
Lt. Governor

Maryland Department of Natural Resources

Tawes State Office Building
580 Taylor Avenue
Annapolis, Maryland 21401

W. P. Jensen
Deputy Secretary

June 23, 2003

Ms. Nancy L. Matthews
Cattail Consulting
P.O. Box 1599
Severna Park, MD 21146

RE: Environmental Review for Pleasure Marine Center, 1701 Poplar Ridge Road, Pasadena, Anne Arundel County, Maryland.

Dear Ms. Matthews:

The Wildlife and Heritage Service has no records for Federal or State rare, threatened or endangered plants or animals within this project site. As a result, we have no specific comments pertaining to protection measures at this time. This statement should not be interpreted, however, as meaning that rare, threatened or endangered species are not present. Such species could be present without being documented because adequate surveys have not been conducted in the past.

In addition, it is important to note that the utilization of state funds or future compliance associated with local ordinances, state permits, or provisions pertaining to state law in general may warrant additional recommendations by the Wildlife and Heritage Service. If this project falls into one of these categories, please contact us for further coordination.

We would like to also bring to your attention that Wildlife and Heritage Service's Natural Heritage database does indicate that there are records for the following species of concern known to occur within the vicinity of the project site:

<u>Scientific Name</u>	<u>Common Name</u>	<u>State Status</u>
<i>Juncus pelocarpus</i>	Brown-fruited Rush	Endangered
<i>Chamaedaphne calyculata</i>	Leatherleaf	Threatened

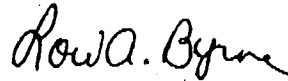
Page 2
June 23, 2003

These species could potentially occur on the project site itself, especially in areas of appropriate habitat. Habitat for Brown-fruited Rush is described as: Damp shores, pools and wet sand (Fernald 1950); moist or wet soil of cedar swamps, sandy bogs, watersides (Hough 1983). Habitat for Leatherleaf is described as: Pool margin (Damman 1977); Coastal Plain bogs and edges of fresh tidal shrub swamps (MDNHP).

The populations of native plants mentioned here have declined historically and we encourage efforts that help to conserve them across the state. If you would like technical assistance regarding the conservation of these important species, please contact us.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, feel free to contact me at (410) 260-8573.

Sincerely,



Lori A. Byrne
Environmental Review Coordinator,
Wildlife and Heritage Service
Maryland Department of Natural Resources

ER# 2003.0689.aa
Cc: K. McCarthy, DNR
R. Esslinger, CAC

CHESAPEAKE BAY CRITICAL AREA COMMISSION
45 CALVERT STREET, 2ND FLOOR
ANNAPOLIS, MD 21401

NOTIFICATION OF PROJECT APPLICATION

Jurisdiction: ANNE ARUNDEL CO.

Date: 4-12-03

Name of Project (site name, subdivision name, or other): PLEASURE MARINE CTR

Local case number: _____

Project location/Address: 1701 POPLAR RIDGE RD PASADENA

Tax map# 18

Block# 14

Lot# _____

Parcel# 13

Type of application:
(Select all applicable)

- ☐ SUBDIVISION
- ☐ SITE PLAN
- ☐ VARIANCE:
Buffer _____ Slope _____
Imp. Surf. _____ Other _____
- ☐ SPECIAL EXCEPTION
- ☐ CONDITIONAL USE
- ☐ REZONING
- ☐ GRADING PERMIT
- ☐ BLDG PERMIT
- ☐ INTRAFAMILY
- ☒ GROWTH ALLOCATION
- ☐ OTHERS _____

Type of Project:
(Select all applicable)

- ☒ RESIDENTIAL
- ☐ COMMERCIAL
- ☐ WATER DEPENDENT
FACILITY/PIER/MARINA
- ☐ INDUSTRIAL
- ☐ MIXED USE
- ☐ REDEVELOPMENT
- ☐ SHORE EROSION PROTEC.
- ☐ AGRICULTURE
- ☐ OTHERS _____
e.g. FUD

Current Use:
(Select all applicable)

- ☒ COMMERCIAL
- ☒ RESIDENTIAL
- ☐ AGRICULTURE
- ☐ FOREST/BUFFER/WOODLAND
- ☐ INDUSTRIAL
- ☐ INSTITUTIONAL
- ☐ OPEN SPACE/RECRE.
- ☐ SURFACE MINING
- ☐ VACANT
- ☒ WATER DEPENDENT
FACILITY/PIER/MARINA
- ☐ OTHERS _____

Describe Proposed use of project site: RECLASSIFICATION OF A PARCEL FROM
RCA → LDA (CONCURRENT RE-ZONING FROM MB → R-2)

SITE INVENTORY OF AREA ONLY IN THE CRITICAL AREA

TOTAL ACRES IN CRITICAL AREA: 25.43

IDA ACRES: _____

LDA ACRES: 13.43

RCA ACRES: 12.03

AGRICULTURAL LAND: _____

AREA DISTURBED: _____

LOTS CREATED: _____

DWELLING UNITS: _____

EXISTING FOREST/WOODLAND/TREES: 10.02

FOREST/WOODLAND/TREES REMOVED: 0

FOREST/WOODLAND/TREES CREATED: 0 AT THIS TIME

AT THIS TIME

EXISTING IMPERVIOUS SURFACE: 6.92

PROPOSED IMPERVIOUS SURFACE: NO
ADDITIONAL

TOTAL IMPERVIOUS SURFACE: 6.92

GROWTH ALLOCATION DEDUCTED: _____

RCA to LDA: _____

RCA to IDA: _____

LDA to IDA: _____

Local Jurisdiction Contact person: _____

Telephone number: _____

Response from Commission required by: _____

Hearing Date: _____



MARYLAND DEPARTMENT OF THE ENVIRONMENT

1800 Washington Boulevard • Baltimore MD 21230

410-537-3000 • 1-800-633-6101

Martin O'Malley
Governor

Anthony G. Brown
Lieutenant Governor

Shari T. Wilson
Secretary

Robert M. Summers, Ph.D.
Deputy Secretary

April 17, 2008

RECEIVED

MAY - 1 2008

Gerald Herson
C/o B & D Environmental Services, Ltd.
7678 Quarterfield Road, Suite 102
Glen Burnie, MD 21061

Re: MDE Authorization Number: 08-GL-1240
MDSPGP Authorization Number: 200861534

Dear Mr. Herson;

Your application to alter tidal wetlands has been evaluated by the Tidal Wetlands Division. Your State license or permit authorizing work in tidal wetlands is attached. Your project qualifies for federal approval under the Maryland State Programmatic General Permit (MDSPGP), permit attached. You should not begin any work until you have obtained all necessary State, local and federal authorizations.

Please take a moment to read and review your authorizations to insure that you understand the limits of the authorized works and all of the general and special conditions. If you are aggrieved by the Department's decision to authorize this project subject to the conditions set forth in the attached license, you may petition the circuit court in the county where the land is located within 30 days after receiving the license. Please call me at 410-537-3835 with any questions.

Sincerely,

Richard J. Ayella, Chief
Tidal Wetlands Division

RECEIVED

APR 14 2009

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays



MARYLAND DEPARTMENT OF THE ENVIRONMENT

1800 Washington Boulevard • Baltimore MD 21230

410-537-3000 • 1-800-633-6101

Martin O'Malley
Governor

Shari T. Wilson
Secretary

Anthony G. Brown
Lieutenant Governor

Robert M. Summers, Ph.D.
Deputy Secretary

GENERAL TIDAL WETLANDS LICENSE 08-GL-1240

Licensee: GERALD HERSON

Address: B & D Environmental Services, Ltd.
7678 Quarterfield Road
Glen Burnie, MD 21061

Under the authority of the Board of Public Works of the State of Maryland and in accordance with Title 16, Wetlands and Riparian Rights, Environment Article, Annotated Code of Maryland and COMAR 23.02.04 and COMAR 26.24 and the conditions of this license, the licensee is authorized to perform the following activity:

To fill, grade and plant marsh vegetation along 120 feet of shoreline with 100 cubic yards of clean sand emplaced within a maximum of 22 feet channelward of the mean high water line and emplace five stone sand containment structures within a maximum of 22 feet channelward of the mean high water line as depicted on the attached plans dated March 13, 2008. The project is located in Perry Cove at 1701 Poplar Ridge Road, Anne Arundel County, Pasadena, Maryland.

By applying for and receiving this General License the licensee shall be considered to have knowledge of and to have accepted the special and general conditions of this license. Licensee agrees that all work shall be performed in compliance with these conditions.

This general license is subject to the following conditions:

SPECIAL CONDITIONS

- A. All work shall be permitted under, and in accordance with, the Critical Area requirements of the local jurisdiction where the project is located. This authorization does not constitute authorization for disturbance in the 100-foot Critical Area Buffer. "Disturbance" in the Buffer means clearing, grading, construction activities, or removal of any size of tree or vegetation. Any anticipated Buffer disturbance requires prior written approval, before commencement of land disturbing activity, from the local jurisdiction in the form of a buffer management plan.
- B. All material deposited within the marsh establishment site shall consist of clean sandy material. No more than 10% of the material shall pass through a standard #100 sieve.
- C. The marsh establishment area shall be planted within one year following completion of the filling operation. Maintenance planting and debris removal shall be performed as needed.

- D. The marsh shall be maintained at an 85% vegetative coverage for a minimum of three years.

GENERAL CONDITIONS

- A. The licensee shall obtain an approved sediment and erosion control plan from the local soil conservation district when the area disturbed is greater than 5000 square feet;
- B. The licensee certifies real property interest in the contiguous upland;
- C. This license is valid only for use by the licensee. Permission for transfer of the license shall be obtained from the Maryland Department of the Environment. The terms and conditions of this license shall be binding on any assignee or successor in interest of the license;
- D. The licensee acknowledges that this license does not transfer any property interest in State tidal wetlands. This license allows the licensee to use State tidal wetlands only for the structure or activity authorized herein and in no way limits the use of waters of the State by the public;
- E. This license is void if the licensee fails to obtain all required State, Federal and local approvals before beginning work on the licensed structure or activity;
- F. The licensee shall allow representatives of the Maryland Department of the Environment to enter the property at reasonable times to inspect the ongoing or completed work under the license;
- G. The licensee shall make every reasonable effort to design and construct the structure or perform the activity authorized in this license in a manner which minimizes adverse impacts on natural resource values, including water quality, plants, wildlife, plant and wildlife habitat, and on historic property values;
- H. The licensee shall notify the Water Management Administration, Compliance Program (410) 537-3510 at least 5 days before beginning the activity;
- I. This license expires 3 years after the date of issuance. The licensee shall complete construction of the activity authorized under this license within the allowed 3 years, otherwise a new general license shall be obtained;
- J. The Maryland Department of the Environment may suspend or revoke this license upon written finding for good cause that suspension or revocation is in the State's best interest.



Robert Tabisz
Chief, License and Permit Section
Tidal Wetlands Division

Date of Issuance: April 17, 2008

RAMS Tracking No.: 200861534

the

SURROUNDING PROPERTY OWNERS

Tax Map 18 (Parcel 68)
Stella H. Gast
1755 Poplar Ridge Road
Pasadena, Maryland 21122

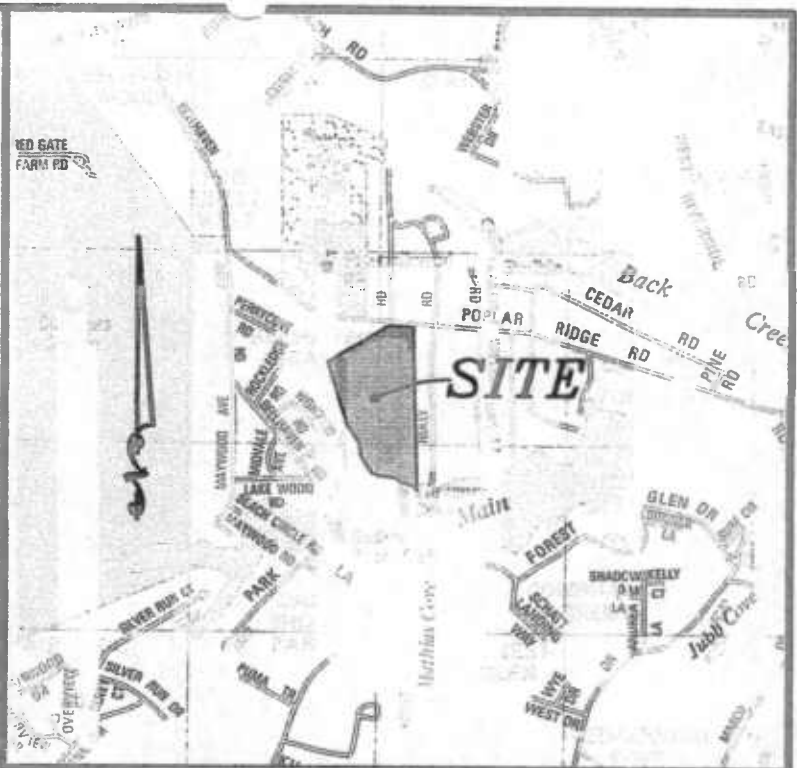
Tax Map 18 (Parcel 178)
Gerald Herson
1729 Poplar Ridge Road
Pasadena, Maryland 21122

Tax Map 18 (Parcel 73)
Pleasure Cove Marina, LLC
1701 Poplar Ridge Road
Pasadena, Maryland 21122

Tax Map 18 (Parcel 212)
Jack E. Phebus
1743 Poplar Ridge Road
Pasadena, Maryland 21122

Tax Map 18 (Parcel 223) 'BELLHAVEN BEACH'
Lots #s 217 - 224, 227, & 228
Development Facilitators, Inc.
504 Baltimore & Annapolis Boulevard
Severna Park, Maryland 21146

Copyright ADC The Map People
Permitted Use Number 20802114



VICINITY MAP

SCALE: 1"=2000'

GENERAL NOTES

1. The purpose of this plan is to show construction of a proposed emergent tidal wetland for shoreline protection and for mitigation of 91 sq. ft. of existing tidal wetland removed during work under 05-WL-1010.
2. Mean Tidal Range is 1'-0".

LEGEND

Ex. Water Depth	5.7'
Ex. Rip Rap	
Ex. Tidal Marsh	
Prop. Tidal Marsh	
Mean Low Water	

08-GL-1240
RAMS# 200861534

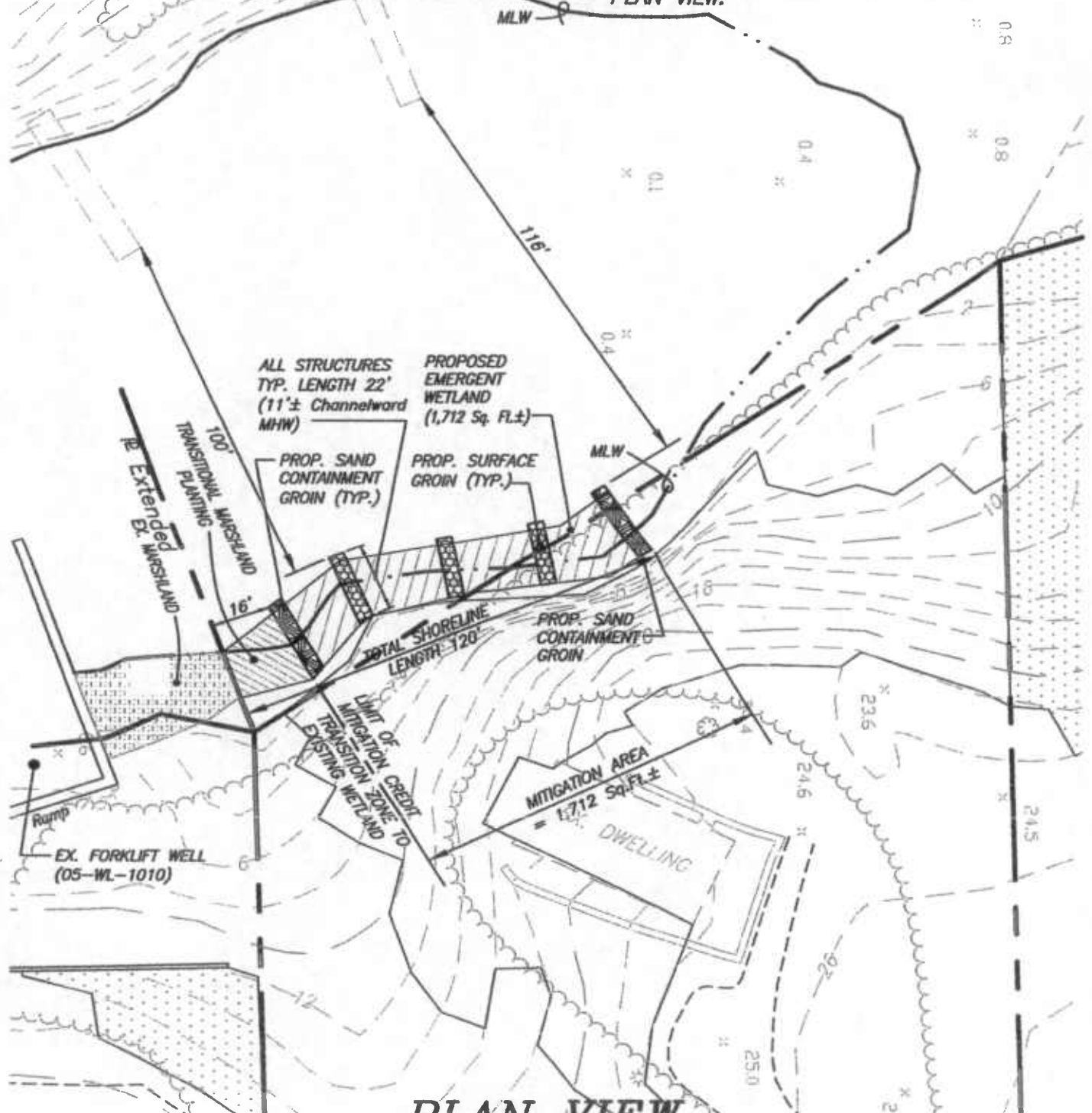
BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

APPLIED FOR BY: GERALD HERSON
DATE: MARCH 13, 2008
SHEET 1 OF 7

NOTE: SEE SHEET 4 OF 7 FOR DETAILED PLAN VIEW.



PLAN VIEW

SCALE: 1" = 40'

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road

Suite 201

Glen Burnie, Maryland 21061

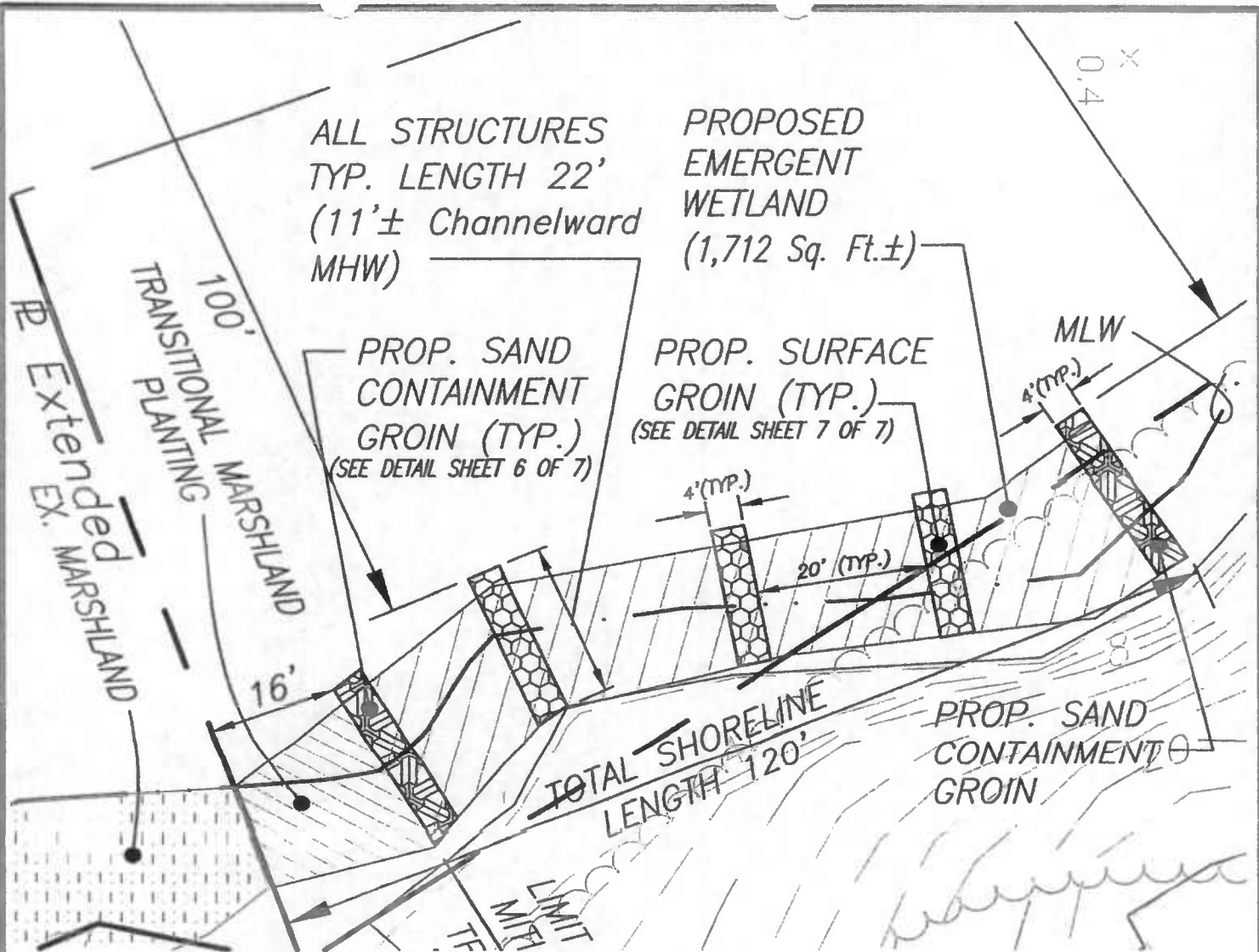
(410) 863-1234

08-GL-1240
RAMS # 200861534
PROPOSED WETLAND

APPLIED FOR BY: GERALD HERSON

DATE: MARCH 13, 2008

SHEET 3 OF 7



BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road

Suite 201

Glen Burnie, Maryland 21061

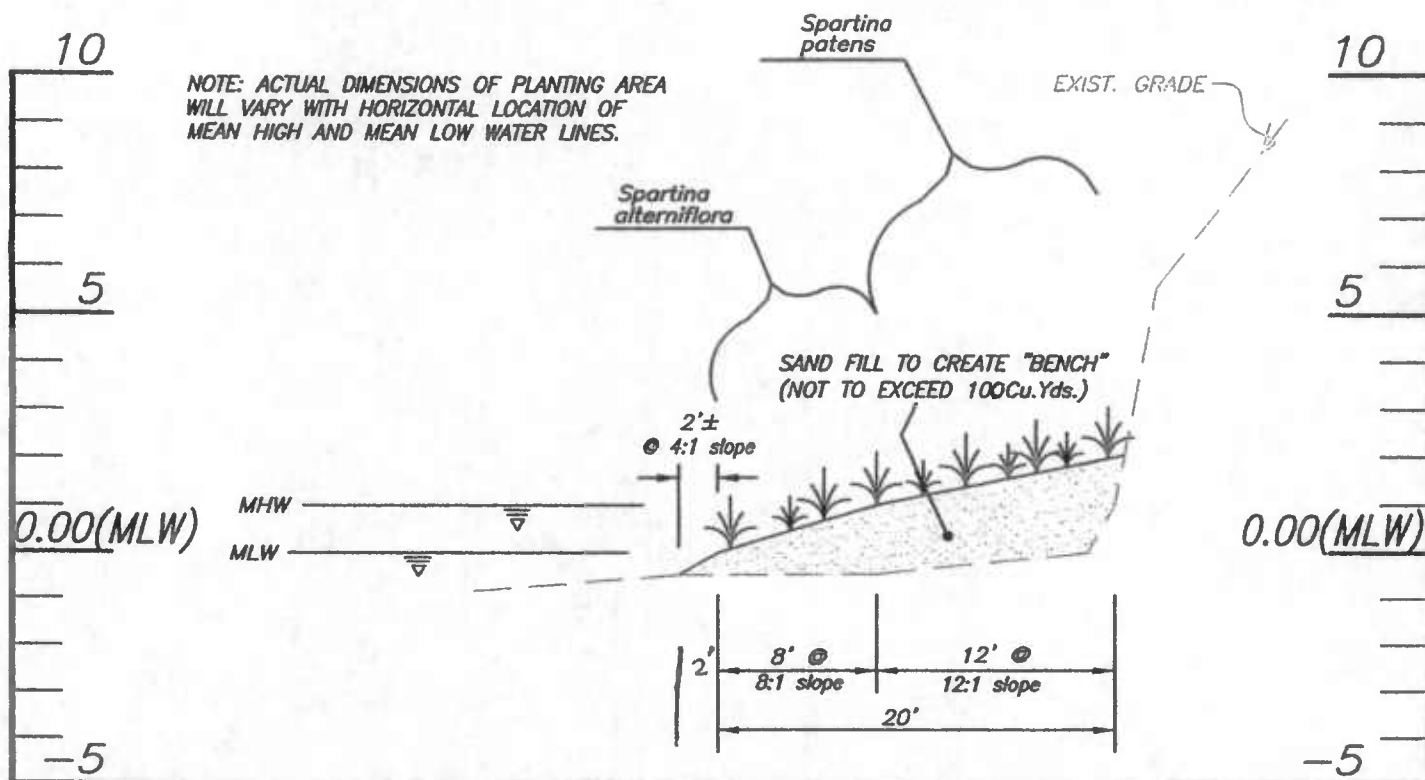
(410) 863-1234

08-GL-1240
RAMS # 200861534
PROPOSED WETLAND

APPLIED FOR BY: GERALD HERSON

DATE: MARCH 13, 2008

SHEET 4 OF 7



PROPOSED EMERGENT WETLANDS
TYPICAL CROSS SECTION

SCALE: 1" = 4' (V)
1" = 10' (H)

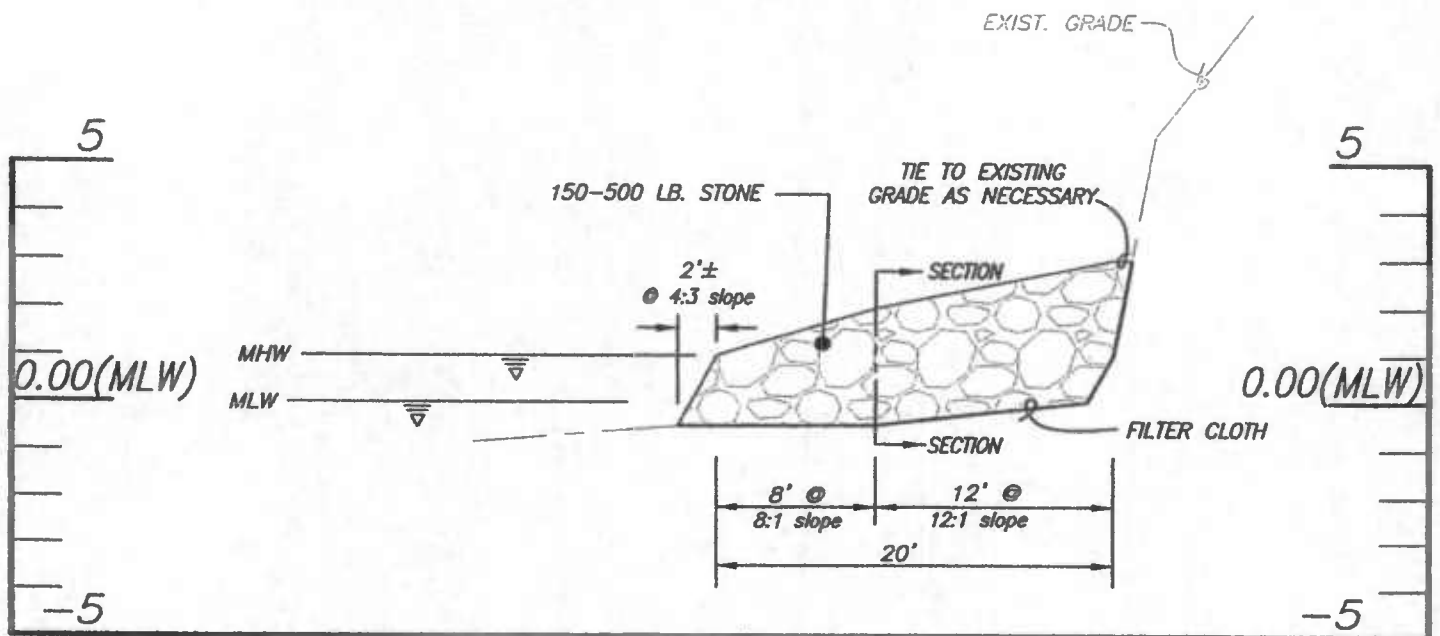
BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

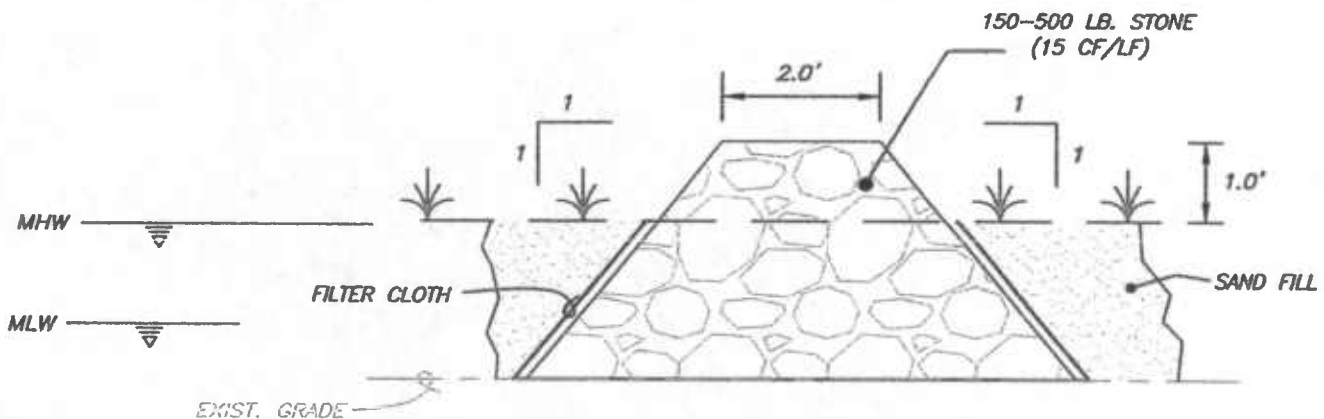
08-GL-1240
RAMS # 200861534
PROPOSED WETLAND

APPLIED FOR BY: GERALD HEKSON
DATE: MARCH 13, 2008
SHEET 5 OF 7



TYPICAL SAND CONTAINMENT GROIN PROFILE

SCALE: $1'' = 4'$ (V)
 $1'' = 10'$ (H)



TYPICAL SAND CONTAINMENT GROIN SECTION

NO SCALE
(AT BED ELEVATION = MHW)

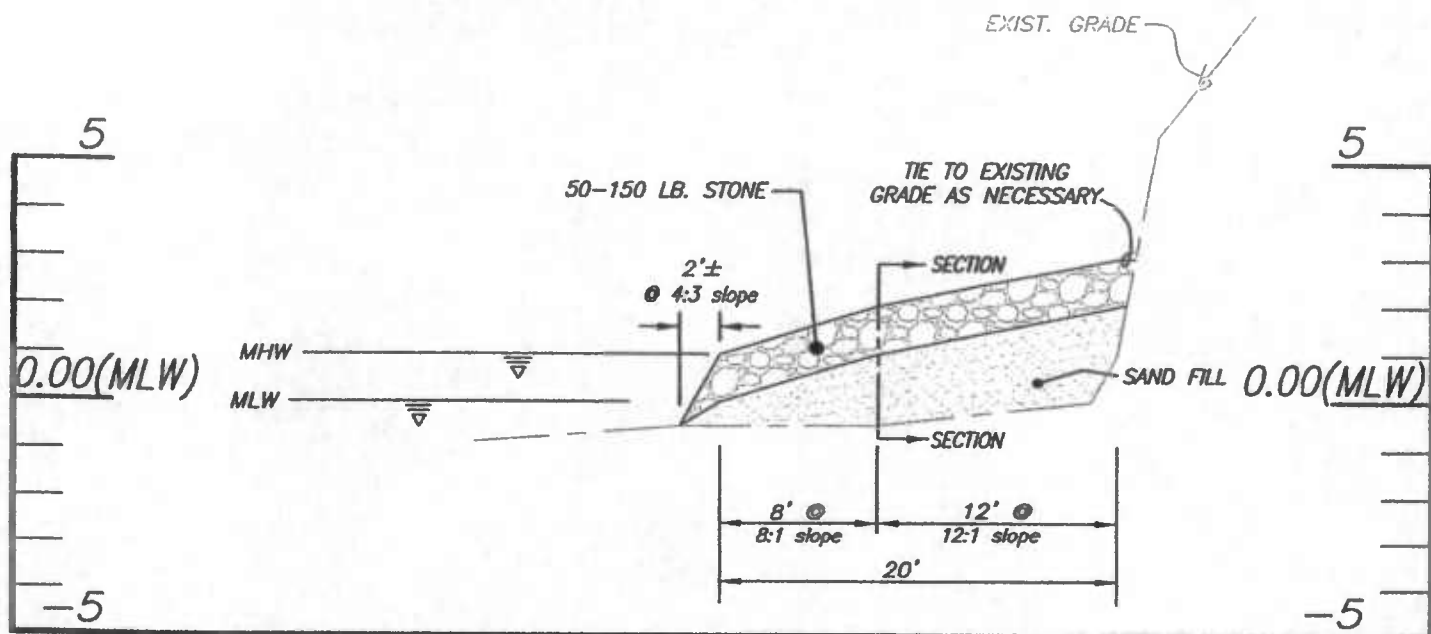
BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

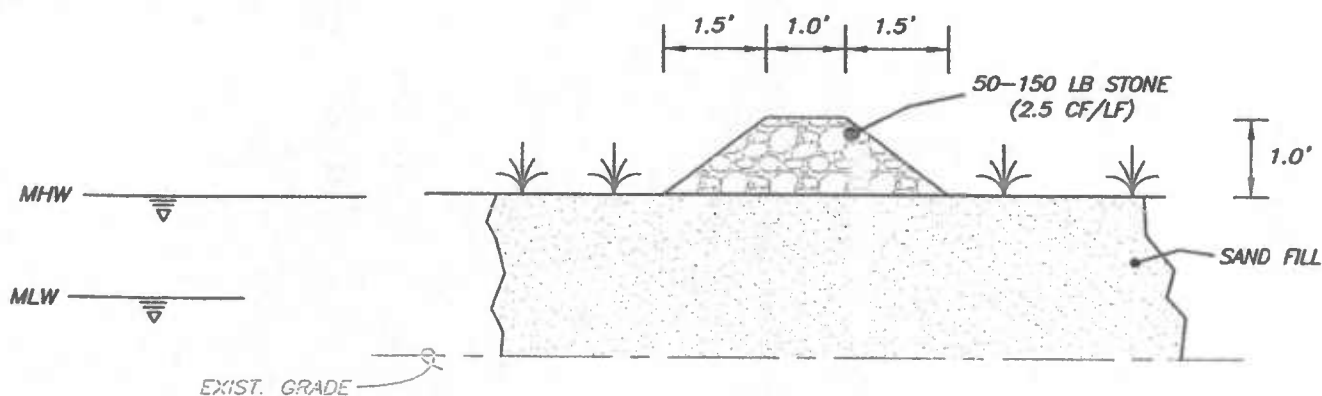
08-GL-1240
RAMS# 200861534
PROPOSED WETLAND

APPLIED FOR BY: GERALD HEKSON
DATE: MARCH 13, 2008
SHEET 6 OF 7



TYPICAL SURFACE GROIN PROFILE

SCALE: 1" = 4' (V)
1" = 10' (H)



TYPICAL SURFACE GROIN SECTION

NO SCALE

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

08-GL-1240
RAMS# 200861534
PROPOSED WETLAND

APPLIED FOR BY: GERALD HERSON
DATE: MARCH 13, 2008
SHEET 7 OF 7



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

IMPORTANT INFORMATION ABOUT YOUR PROJECT

Corps Permit Tracking No.: 200861549

Date: April 17, 2008

Permittee/Project Name: Gerald Herson

MDSPGP-3 Category and Activity No.: I-F2

Dear Applicant:

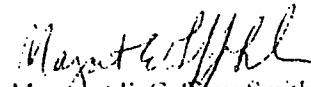
The U. S. Army Corps of Engineers, Baltimore District, has determined that the proposed work meets the terms and conditions of the Maryland State Programmatic General Permit-3 (MDSPGP-3), provided the work is completed in compliance with the plan(s) (enclosed), the standard MDSPGP-3 conditions (enclosed), the applicable MDSPGP-3 activity-specific conditions (enclosed), and special conditions (enclosed, if applicable). This MDSPGP-3 verification is provided pursuant to Section 10 of the Rivers and Harbors Act of 1899 and/or Section 404 of the Clean Water Act. If any of the information contained in your application and/or plans is later found to be in error, the MDSPGP-3 authorization for your project may be modified, suspended, or revoked.

As a condition of the MDSPGP-3 authorization, you, the permittee, are required to complete and sign the enclosed Compliance Self-Certification Form regarding the completed work and any required mitigation, and return to the above address within 60 days following completion of the authorized work and any required mitigation.

In addition, please note, if you sell the property associated with this permit, when the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new property owner(s). Although the construction period for work authorized by this MDSPGP-3 is finite, the permit itself, with its limitations, does not expire. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, you must have the transferee (new owner) provide a mailing address and telephone number along with their signature and date in the space provided below, and mail a copy to the above address.

Your MDSPGP-3 authorization is valid until September 30, 2011 unless the MDSPGP-3 is modified, reissued, or revoked. You must remain informed of the changes to the MDSPGP-3. When changes to the MDSPGP-3 occur, a public notice announcing the changes will be issued. If you have commenced construction or are under contract to commence construction of this authorized work prior to the expiration, modification, or revocation date of the MDSPGP-3 itself, you have 12 months from the effective date of the MDSPGP-3's expiration, modification or revocation to complete the work under the present terms and conditions of this MDSPGP-3.

In order for this authorization to be valid, you must obtain all required Federal, State, and local permits.


Margaret E. Gaffney-Smith
Chief, Regulatory Branch

TRANSFEEE SIGNATURE

DATE

AREA CODE / TELEPHONE NO.

PRINTED NAME

ADDRESS

phases of multi-phased projects (e.g., subdivisions should include all work such as roads, utilities, and lot development) shall be applied for and reviewed together as constituting one single and complete project. The MDSPGP-3 shall not be used for any activity or portion of a project, e.g., a pier or boat ramp, that is part of, or dependent on, an overall project, e.g., the dredging of a main navigation channel or a spur channel, for which an individual permit or some other alternate Corps permit is required.

6. Use of Multiple MDSPGP-3 Category I Activities: More than one Category I activity may be used to authorize a single and complete project under the MDSPGP-3. However the project must meet the specific requirements of each Category I activity and the total extent of project impacts must not exceed the acreage limit of the Category I activity with the highest specified acreage limit (e.g., if armoring the toe of an existing culvert is constructed under Category I.b(2) with an associated nontidal bank stabilization authorized under Category I.f(1), the maximum total impact limits to waters of the United States for the single and complete project may not exceed 1.0 acre (43,560 square feet).

7. Authorized Activities in Navigable Waters Subject to Section 10 of the Rivers and Harbors Act of 1899:

a. If future operations by the United States require removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable water, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

b. The U.S. Code of Federal Regulations, Title 33, Part 64 states that all structures erected in navigable waters in depths in excess of three feet at mean low water (MLW) require obstruction lights unless the applicant is advised to the contrary by the Coast Guard District Commander. If the structures authorized by this permit are to be built in water depths in excess of three feet at MLW, the permittee must contact the Commander (AOWW), Fifth Coast Guard District, Federal Building, 431 Crawford Street, Portsmouth, Virginia, 23704, to ascertain the need for obstruction lights.

B. National Concern:

1. Historic Properties: Any activity authorized by the MDSPGP-3 shall comply with Section 106 of the National Historic Preservation Act. MDE, in cooperation with the Maryland Historic Preservation Office, shall conduct an initial review and notify the Corps if any archaeological or other cultural resources are in the vicinity of the project. The Corps may require applicants to perform a survey of archaeological and historical resources in the project area. The Corps shall determine if consultation under Section 106 with MHT or the Advisory Council on Historic Preservation is required. The applicant must notify the Corps if the activity may affect any historic properties listed or eligible for listing, or that the applicant has reason to believe may be eligible for listing on the National Register of Historic Places. If the permittee, during construction of work authorized herein, encounters a previously unidentified archaeological or other cultural resource within the permit area subject to DA jurisdiction that might be eligible for listing in the National Register of Historic Places, the permittee shall immediately stop work in the permit area and notify the District Engineer. The permittee shall not begin or continue work until notified by the District Engineer that the requirements of the National Historic Preservation Act have been satisfied and that the activity may proceed. Information on the location and existence of historical resources can be obtained from the Maryland Historic Trust, Office of Preservation Services, and the National Register of Historic Places.

2. National Lands: Activities authorized by the MDSPGP-3 shall not impinge upon the value of any Federal land, including but not limited to, National Wildlife Refuges, National Forests, National Marine Sanctuaries or any area administered by the National Park Service (e.g., Assateague Island National Seashore).

3. Endangered Species: The MDSPGP-3 does not authorize any activity that may affect a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act (ESA); or which may destroy or adversely modify the critical habitat of such species unless and until appropriate coordination with the applicable resource agency(s) is complete and all such issues are resolved in accordance with the applicable regulations and the procedures outlined in the MDSPGP-3 Standard Operating Procedures. MDE, in cooperation with DNR, shall conduct an initial review and notify the Corps and FWS or NMFS if any Federally-listed species or critical habitat is likely to be in the vicinity of the project. The Corps shall determine if consultation with FWS or NMFS is required under Section 7 of the ESA. If consultation is required, the applicant, after notification, shall not begin or continue work until notified by the Corps that the requirements of the ESA have been satisfied and that the activity is eligible for authorization. Information on the location of threatened and endangered species and their critical habitat can be obtained from the FWS and NMFS.

C. Minimization of Environmental Impacts:

1. **Minimization:** Discharges of dredged or fill material into waters of the United States and adverse impacts of such discharges on the aquatic ecosystem shall be avoided and minimized to the maximum extent practicable on-site.

2. Mitigation:

a. Generally, compensatory mitigation will be required for all permanent tidal or nontidal wetland impacts either through the State's tidal or nontidal wetland compensation fund or by the permittee as required by special condition of the MDSPGP-3 or the State authorization.

b. Generally, compensatory mitigation will be required for all permanent impacts of 200 linear feet or greater to stream channels, rivers, and other open waters as appropriate under Federal guidance and to the extent necessary to ensure that the impacts are minimal. A proposed compensatory mitigation proposal may be submitted with the application to expedite the process. The Corps will determine if the project is eligible for authorization under the MDSPGP-3 subject to the applicant's submittal of a compensatory mitigation proposal for stream impacts. Compensatory mitigation plans for projects in or near streams or other open waters will generally include a requirement for the establishment, maintenance, and legal protection (e.g., conservation easements) of riparian areas next to open waters. Riparian areas should consist of native species. The width of the required riparian area will address documented water quality or aquatic habitat impact concerns.

3. **Work in Wetlands:** Heavy equipment working in wetlands shall be avoided if possible and, if required, soil and vegetation disturbance shall be minimized by using techniques such as timber mats, geotextile fabric, and vehicles with low-pressure tires. Disturbed areas in wetlands shall be restored to preconstruction contours and elevations upon completion of the work.

4. **Temporary Fill and Mats:** Temporary fill and the use of mats are both considered a discharge of fill material and must be included in the quantification of impact area authorized by the MDSPGP-3. Temporary fill (e.g., access roads, cofferdams) in waters and wetlands authorized by the MDSPGP-3 shall be properly stabilized during use to prevent erosion. Temporary fill in wetlands shall be placed on geotextile fabric laid on the existing wetland grade. Upon completion of the work, all temporary fills shall be disposed of at an upland site, suitably contained to prevent erosion and transport to a waterway or wetland. Temporary fill areas shall be restored to their original, pre-construction contours and revegetated with native wetland species.

5. **Erosion and Sediment Control:** Adequate erosion and sediment control measures, practices and devices, such as vegetated filter strips, geotextile silt fences, phased construction, or other devices or methods, shall be used to reduce erosion and retain sediment on-site during and after construction. These devices and methods shall be capable of (a) preventing erosion, (b) collecting sediment and suspended and floating materials, and (c) filtering fine sediment. Erosion and sediment control devices shall be removed when the work is complete and the site has been successfully stabilized. The sediment collected by these devices shall be removed and placed at an upland location, in a manner that will prevent its later erosion into a waterway or wetland. All exposed soil and other fills shall be permanently stabilized at the earliest practicable date. In-stream work shall be conducted "in the dry" whenever practicable. This should be accomplished using stream diversion devices, other than earthen or stone cofferdams. In addition, work in waters of the United States should be performed during periods of low-flow or no-flow, whenever practicable.

6. **Aquatic Life Movements:** No activity may substantially disrupt the necessary life-cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. Culverts placed in streams must be installed to maintain low flow conditions. A low flow channel must be maintained through any discharges placed for armoring across the channel so as to not impede flow in the waterway and/or not to block or impede the movements of anadromous, estuarine and resident fish. NOTE: Please refer to Appendix C for an expanded version of General Condition VI.C.6 entitled, "Guidance for Constructing Man-Made Stream Crossings and Scour Protection for Man-Made Stream Crossings to Pass Migratory Fish in The Coastal Plain Region of Maryland, and Lower Piedmont Region of Cecil, Harford, and Baltimore Counties, Maryland". This document includes recommended guidance on fish passage and hydrological parameters to ensure that man-made stream crossings do not adversely affect migratory fish.

b. A statement that any required mitigation was or was not completed in accordance with the permit conditions. If the mitigation was not completed in accordance with the permit conditions, the permittee shall describe the specifics of the deviation from the permit conditions.

c. The signature of the permittee, certifying the completion of the work and compensatory mitigation.

After the project is completed, the certification shall be sent to the Baltimore District at the following address:

U. S. Army Corps of Engineers
Baltimore District
Attn: CENAB-OP-R
P. O. Box 1715
Baltimore, MD 21203-1715

3. **Transfer of MDSPGP-3 Verifications:** If the permittee sells the property associated with a MDSPGP-3 verification, the permittee may transfer the MDSPGP-3 verification to the new owner by submitting a letter to the Baltimore District Corps of Engineers office to validate the transfer. A copy of the MDSPGP-3 verification must be attached to the letter, and the letter must contain the following statement and signature:
"When the structures or work authorized by this MDSPGP-3 are still in existence at the time the property is transferred, the terms and conditions of this MDSPGP-3, including special conditions, will continue to be binding on the new owner(s) of the property. To validate the transfer of this MDSPGP-3 permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below."

(Transferee)

(Date)

4. **Maintenance:** The permittee shall maintain the work or structure authorized by the MDSPGP-3 in good condition and in compliance with the terms and conditions of the MDSPGP-3.

5. **Property Rights:** The MDSPGP-3 does not convey any property rights, either in real estate or material, or any exclusive privileges, nor does it authorize any injury to property or invasion of rights or any infringement of Federal, State, or local laws or regulations.

6. **Modification, Suspension and Revocation:** The MDSPGP-3, or any verification under it, may be either modified, suspended, or revoked, in whole or in part, pursuant to DA policies and procedures and any such action shall not be the basis for any claim for damages against the United States.

7. **Restoration:** The permittee, upon receipt of a notice of revocation of authorization under the MDSPGP-3, shall restore the wetland or waterway to its former condition, without expense to the United States and as directed by the Secretary of the Army or his authorized representative. If the permittee fails to comply with such a directive, the Secretary or his designee may restore the wetland or waterway to its former condition, by contract or otherwise, and recover the cost from the permittee.

8. **Special Conditions:** The Corps may impose special conditions on any project authorized under the MDSPGP-3, in cases where the Corps determines that special conditions are necessary to avoid or minimize adverse effects on the environment or on any other factor of the public interest. Failure to comply with all conditions of the authorization/verification, including special conditions, will constitute a permit violation/unauthorized work and may subject the permittee to criminal, civil, or administrative penalties, and/or restoration.

9. **False or Incomplete Information:** If the project is verified by the Corps or MDE under the MDSPGP-3 and subsequently discovers that it has relied on false, incomplete, or inaccurate information provided by the permittee, the MDSPGP-3 verification may be revoked and the Government may institute appropriate legal proceedings.

10. **Compliance:** Any activity performed in waters of the United States, including wetlands and navigable waters, that is not in compliance with all the terms and conditions of the MDSPGP-3 that includes the MDSPGP-3 Category List activity-specific conditions, constitutes unauthorized work and is subject to an enforcement action by the Corps or the EPA. Furthermore, the MDSPGP-3 does not delegate any Section 404 enforcement or regulatory authority. When unauthorized



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

MDSPGP-3 PERMIT COMPLIANCE, SELF-CERTIFICATION FORM (10/1/06)

Corps Permit Tracking No. _____ Category & Activity Number _____

Project Name _____ Applicant Name _____

Waterway _____ County _____

Dear Permittee:

In accordance with the compliance certification condition of your MDSPGP-3 authorization, you are required upon completion of all permitted work, or if mitigation/compensation is required, within 60 days following completion of the authorized work and any required mitigation (but not the mitigation monitoring, which requires separate submittals), to complete and sign this certification form and return it to the Corps of Engineers, Baltimore District to the address shown above and include ATTN: CENAB-OP-R.

Please note that the permitted activity is subject to compliance inspections by U.S. Army Corps of Engineers representatives. As a condition of this permit, failure to return this notification form, provide the required information below, or to perform the authorized work in compliance with the permit, can result in suspension, modification or revocation of your authorization in accordance with 33 CFR Part 325.7 and/or administrative, civil, and/or criminal penalties, in accordance with 33 CFR part 326.

Please provide the following information:

1. Date authorized work commenced: _____ 2. Date authorized work completed: _____

3. Was all work and any required mitigation, completed in accordance with your MDSPGP-3 authorization, including all general and/or specific conditions? YES _____ NO _____

4. Explain in detail any deviations to the authorized work and/or mitigation (use additional sheets if necessary)

5. Was mitigation accomplished through a contribution to the Maryland Nontidal Wetlands Compensation Fund?
YES _____ NO _____ (if NO complete Nos. 6 and 7 below).

6. Wetland Mitigation: Required? YES _____ NO _____ Required Completion Date _____
Completed? YES _____ NO _____ Mitigation Monitoring Reports Required? YES _____ NO _____

7. Attach labeled photographs showing completed work including mitigation area(s).

I hereby certify that, except as noted above, that all work, including mitigation, has been completed in accordance with the terms and conditions, including special conditions of the above referenced permit.

Signature of Permittee _____ Date _____

Signature of Contractor/Agent _____ Date _____

Address: _____

Address: _____

Telephone: _____

Telephone: _____



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

Corps Permit Tracking Number

MDSPGP-3
CATEGORY I ACTIVITY (I-f(2))
Tidal Marsh Creation/Beach Nourishment

The projects, structures and activities, listed below, must comply with all activity-specific conditions, in addition to all of the general conditions of this general permit.

This activity authorizes discharges of fill material and the construction of stone containment structures such as groins or low profile stone sills, in unvegetated (i.e., no adjacent marsh, wetland or SAV) shallow water along shorelines to facilitate tidal marsh creation and/or beach nourishment for the purpose of shoreline erosion control only. Low profile stone sills are not authorized for use with beach nourishment projects. All work authorized by this activity, including discharges, must comply with all activity-specific impact limits and conditions listed below, in addition to the general conditions of this permit. Work, including discharges, that does not meet the impact limits and/or conditions does not qualify for authorization under Category I and will be reviewed under Category III or alternate Corps permit review (Sections 10 and 404; limited to all tidal waters and wetlands).

Impact Limits: Total impact is limited to one acre (43,560 square feet) to unvegetated (i.e., no adjacent marsh, wetland or SAV) shallow waters.

Conditions:

- (i) Application must be submitted to MDE for Corps authorization.
- (ii) No material may be placed in excess of the minimum needed for erosion protection.
- (iii) The fill and containment structures must not extend more than 35 feet channelward of the mean high water line.
- (iv) The fill must be placed parallel to the upland.
- (v) The fill material used must be clean substrate, no more than 10% of which shall pass through a standard number 100 sieve.
- (vi) The marsh establishment area must be planted within six months following completion of the filling operation.
- (vii) The marsh establishment area must be maintained as a wetland, with areal coverage by non-nuisance species of at least 85% for three consecutive years. If 85% coverage by non-nuisance species is not attained, the reasons for failure must be determined, corrective measures must be taken, and the area must be replanted.
- (viii) If an erosion and sediment control plan is required for clearing or grading of the existing bank, it must be obtained from the applicable erosion and sediment control agency before beginning the clearing or grading.
- (ix) An assessment of the presence or absence of submerged aquatic vegetation within or near the proposed impact area must be conducted (see Submerged Aquatic Vegetation Confirmation Protocol). This activity does not authorize impacts to areas having submerged aquatic vegetation. However, if submerged aquatic vegetation is confirmed only in areas outside the marsh creation and/or beach nourishment site but within 500 yards of the proposed activity, the discharge of dredged or fill material shall be prohibited during the period April 15 through October 15 of every year.



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

MAR 14 2008

Operations Division

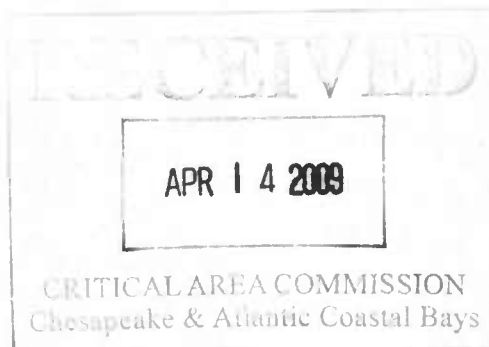
Mr. Gerald Herson
Pleasure Cove Marina LLC
15525 Frederick Road
Rockville, Maryland 20855-2110

Dear Mr. Herson:

This is in reference to your application, **CENAB-OP-RMN (PLEASURE COVE MARINA LLC/TRAVEL LIFT, PIER & WALKWAY) 05-61701-25**, for maintenance dredging, and the placement of structures and dredge/fill material into Waters of the United States including jurisdictional wetlands necessary to reconfigure an existing marina as shown on the plans you submitted to this office dated January 5, 2005 (updated February 28, 2008, see enclosed) in Main Creek at your property located at 1701 Poplar Ridge Road, Pasadena, Anne Arundel County, Maryland.

The Maryland Department of the Environment (MDE) recommended to the State of Maryland Board of Public Works that the proposed work associated with tidal wetlands licenses #05-1010 dated October 10, 2007 met the terms and conditions of the Maryland State Programmatic General Permit -3 (MDSPGP-3). We concur with those findings. However, subsequent modifications resulting in the issuance of the revised tidal wetlands licenses #05-1010(R) dated November 5, 2007 do not qualify for verification under the MDSPGP-3. Specifically, the MDSPGP-3 does not allow for the 110,500 square feet of maintenance dredging identified in the state authorization and will therefore require the processing of a standard permit by our office. Previous after-the-fact verification by our office under Nationwide Permit #32 dated March 17, 2003 to resolve unauthorized dredging at your marina expired with the reissuance of the nationwide permits effective March 19, 2007. Maintenance dredging outside the minimum necessary to support the marina reconfiguration currently underway is not authorized. No additional dredging is to be completed until we have completed our standard permit review.

The U. S. Army Corps of Engineers (USACE), Baltimore District, has determined that the stand alone work associated with the marina reconfiguration currently underway meets the terms and conditions of the Maryland State Programmatic General Permit-3 (MDSPGP-3), as a Category I, Activity a(4), a(9), and f(1), provided the work described below is completed in compliance with the plan(s), the activity specific conditions, and the standard MDSPGP-3 conditions, which are all enclosed as part of this Corps authorization package, and any special conditions stated below. This MDSPGP-3 verification is provided pursuant to Section 10 of the Rivers and Harbors Act of 1899 and/or Section 404 of the Clean Water Act. If any of the information contained in your application and/or plans is later found to be in error, the MDSPGP-3 authorization for your project may be



modified, suspended, or revoked. This verification supersedes the MDSPGP-3 verification provided by the State of Maryland with their October 10, 2007 Wetlands License No. 05-1010.

In addition to the enclosed list of conditions, you must also comply with the following special conditions:

1. No additional activities within Waters of the United States are to be constructed without Federal permits.

2. The request for 110,500 square feet of maintenance dredging does not qualify under the MDSPGP-3 and will therefore be processed by USACE as a standard permit. No additional dredging is authorized until the standard permit process is complete.

3. As a condition of the MDSPGP-3 authorization, you, the permittee, are required to complete and sign the enclosed Compliance Self-Certification Form, also enclosed as part of the MDE/Corps authorization package, regarding the completed work and any required mitigation, and return to the above address within 60 days following completion of the authorized work and any required mitigation.

4. The Permittee must comply with special conditions outlined in the November 5, 2007 Wetlands License (No. 05-1010(R)).

The description of work, as authorized by USACE, is to:

1. To reconfigure a 63-slip marina to a 19-slip marina and three "overnight" wells.
2. Remove existing piers and piles except for the pier on the east end of the marina, the fuel pier in the center, and piers running along the edge of the shoreline.
3. Construct a 93-foot long by 4-foot wide pier with a 91-foot long by 4-foot wide and a 72-foot long by 4-foot wide branching pier, and emplace eight mooring piles.
4. Construct a 34-foot long by 4-foot wide pier extension.
5. Expand an existing travel lift to 30 feet wide by constructing a 64-foot long by 4-foot wide travel lift pier.
6. Construct a 79-foot long by 6 to 8-foot wide pier extension.
7. Excavate dredge a 479-foot area to the 6-foot depth at mean low water and transport 50 cubic yards of dredged material to the approved upland disposal site known as Anderson's in Anne Arundel County.
8. Construct seven 62 to 105-foot long by 4-foot wide branching piers.
9. Construct a 67-foot long by 6-foot wide pier section.

10. Emplace 27 mooring piles.
11. Construct a 213-foot long by 4-foot wide pier.
12. Construct a 29-foot long by 4-foot wide timber walkway.
13. Construct a 27-foot long retaining wall within a maximum of 9.7 feet channelward of the mean high water line.
14. Construct a 74-foot long retaining wall within a maximum of 67 feet channelward of the mean high water line.
15. Construct an 81-foot long by 4-foot wide timber walkway.
16. Excavate/mechanically dredge a 553-square foot area to the 6-foot depth at mean low water and transport 92 cubic yards of dredged material to an approved upland disposal facility known as Anderson's in Anne Arundel County.
17. Installation of 210-foot revetment where existing riprap is failing, this would fill 91 square feet of marsh.
18. 80 linear feet of bulkhead at hillside and travel lift area where approved to dredge and reconstruct piers/slips.
19. Dredging to 6-feet MLW in slip areas along piers parallel to shoreline.
20. Creation of 1600 square feet of new marsh in Perry's Cove as mitigation for impacts to marsh in the marina basin.

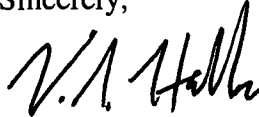
In addition, **please note**, if you sell the property associated with this permit, when the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new property owner(s). Although the construction period for work authorized by this MDSPGP-3 is finite, the permit itself, with its limitations, does not expire. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, you must have the transferee (new owner) provide a mailing address and telephone number along with their signature and date in the space provided below, and mail a copy to the above address.

Your MDSPGP-3 authorization becomes effective on the date of the associated State authorization, or the date of this letter for those projects that do not require State authorization, and is valid until the MDSPGP-3 expiration date of September 30, 2011, unless the MDSPGP-3 is modified, reissued, or revoked. You must remain informed of the changes to the MDSPGP-3. When changes to the MDSPGP-3 occur, a public notice announcing the changes will be issued. If you have commenced construction or are under contract to commence construction of this authorized work prior to the expiration, modification, or revocation date of the MDSPGP-3 itself, you have 12 months from the effective date of the MDSPGP-3's expiration, modification or revocation to complete the work under the present terms and conditions of this MDSPGP-3.

In order for this authorization to be valid, you must obtain all required Federal, state, and local permits. This information is also being coordinated with the MDE. A copy of this letter is being forwarded to MDE (Mr. Bob Cuthbertson), the State of Maryland Board of Public Works, Wetlands Administration (Mr. Doldon Moore) and Boyd & Dowgiallo (Mr. Dan Boyd) for informational purposes.

If you have any questions concerning this letter, please call Ms. Erika Mark of this office, at (410) 962-6144.

Sincerely,



Vance G. Hobbs
Chief, Maryland Section Northern

Enclosures

TRANSFEREE SIGNATURE

DATE

AREA CODE / TELEPHONE NO.

PRINTED NAME

ADDRESS

To identify how we can better serve you, we need your help. Please take the time to fill out our new customer service survey at: <http://www.nab.usace.army.mil/Regulatory/survey.htm>

SURROUNDING PROPERTY OWNERS

Tax Map 18 (Parcel 68)
Stella H. Gast
1755 Poplar Ridge Road
Pasadena, Maryland 21122

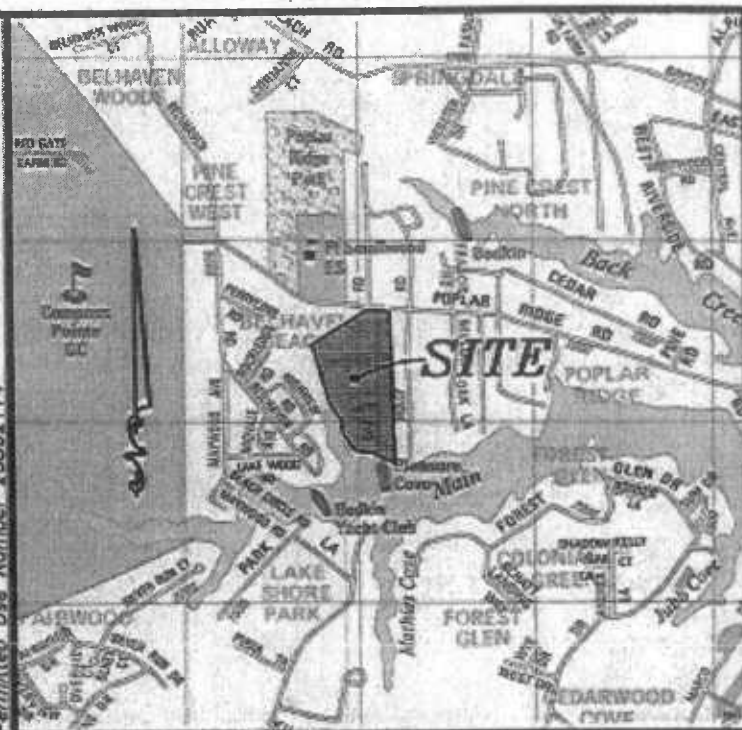
Tax Map 18 (Parcel 178)
Gerald Herson
1729 Poplar Ridge Road
Pasadena, Maryland 21122

Tax Map 18 (Parcel 211)
Gerald Herson
1737 Poplar Ridge Road
Pasadena, Maryland 21122

Tax Map 18 (Parcel 212)
Jack E. Phebus
1743 Poplar Ridge Road
Pasadena, Maryland 21122

Tax Map 18 (Parcel 223) "BELLHAVEN BEACH"
Lots #'s 217 - 224, 227, & 228
Development Facilitators, Inc.
504 Baltimore & Annapolis Boulevard
Severna Park, Maryland 21146

Copyright ADC The Map People
Permitted Use Number 20802114



VICINITY MAP

SCALE: 1"=2000'

GENERAL NOTES

1. The purpose of this plan is to present revisions to the previously approved pier replacement plan. These revisions are requested to correct severe conditions encountered during the approved pier construction.
2. Mean Tidal Range is 1'-0".
3. Number of Existing Boat Slips = 63
4. Number of Proposed Boat Slips = 19 plus (3) overnight wells
5. Proposed Timber Retaining Wall extends 9.7' beyond Mean High Water (MHW) towards the Perry Cove channel.
6. Dredging spoil will be disposed of at the Anderson's Disposal Site in Pasadena, MD.
7. 35 Mooring poles are proposed @ 1' dia. on 20' centers.

Legend

Ex. Water Depth	3.7'
Proposed Piliings	•
Ex. Piers to be removed	□
Proposed Piers	■
Ex. Rip Rap	▨
Ex. Tidal Marsh	▤
Existing Piers to Remain	▥

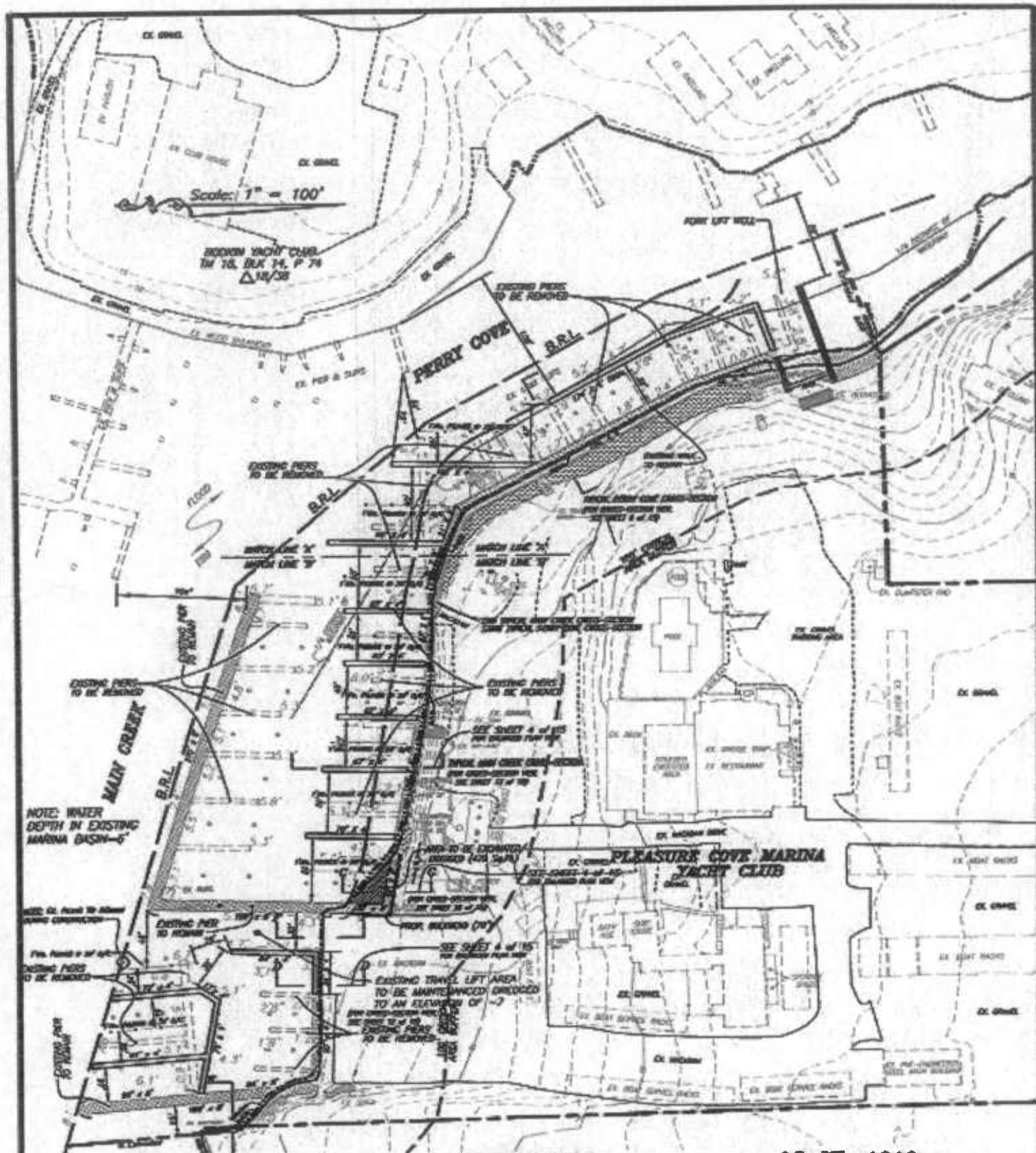
BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010 PROPOSED PIERS PLEASURE MARINE CENTER

ANNE ARUNDEL COUNTY, MARYLAND
APPLIED BY: PLEASURE MARINE LTD. PRISHP.
DATE: FEBRUARY 28, 2008
SHEET 1 OF 15



BOYD & DOWGIALLO, P.A.

ENGINEERS-SURVEYORS-PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

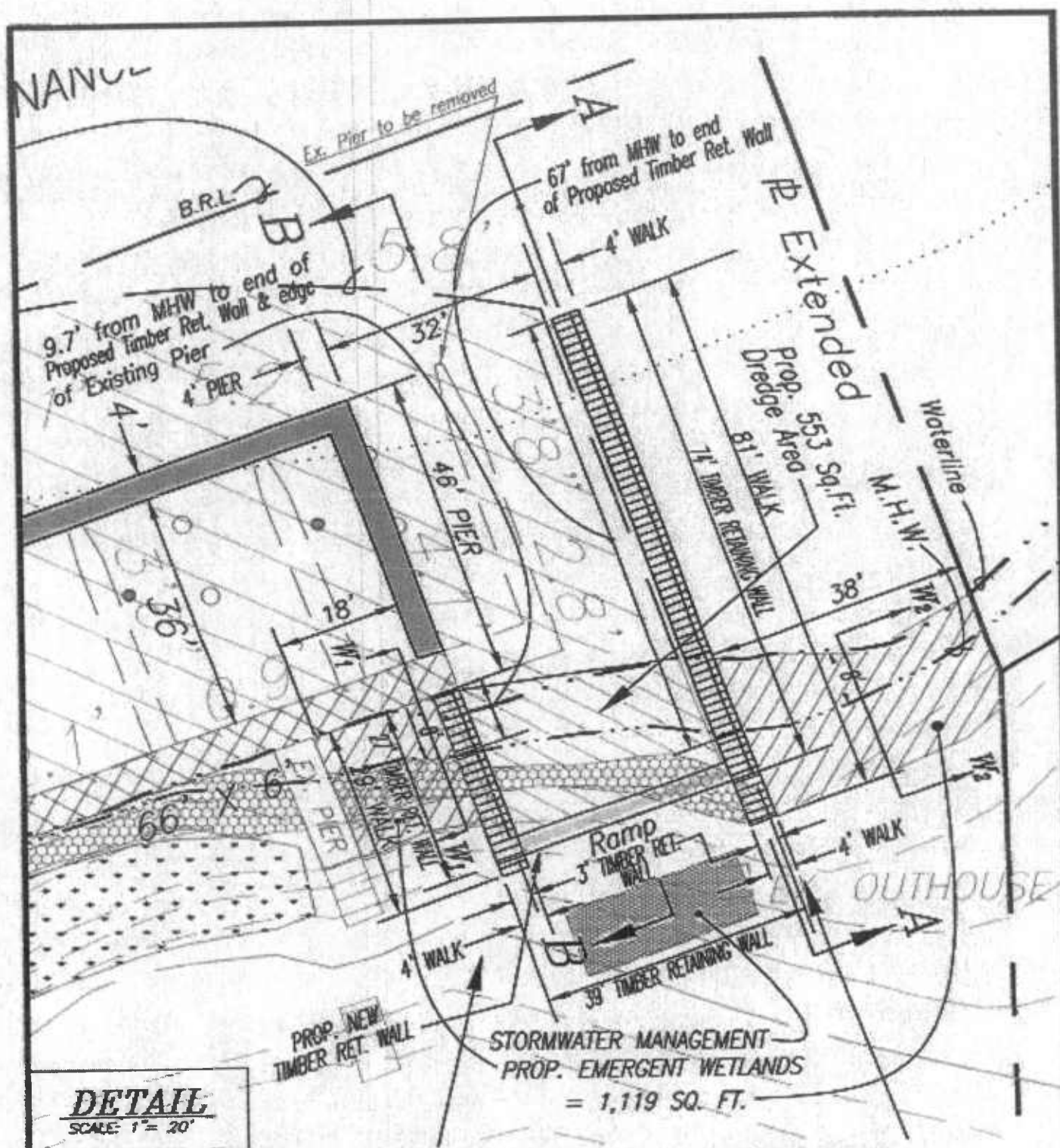
PLAN VIEW
SCALE: 1" = 100'

NOTE Fire suppression equipment
will be provided in accordance
with Anne Arundel County
BRI No. 18-96 and NFPA 303.

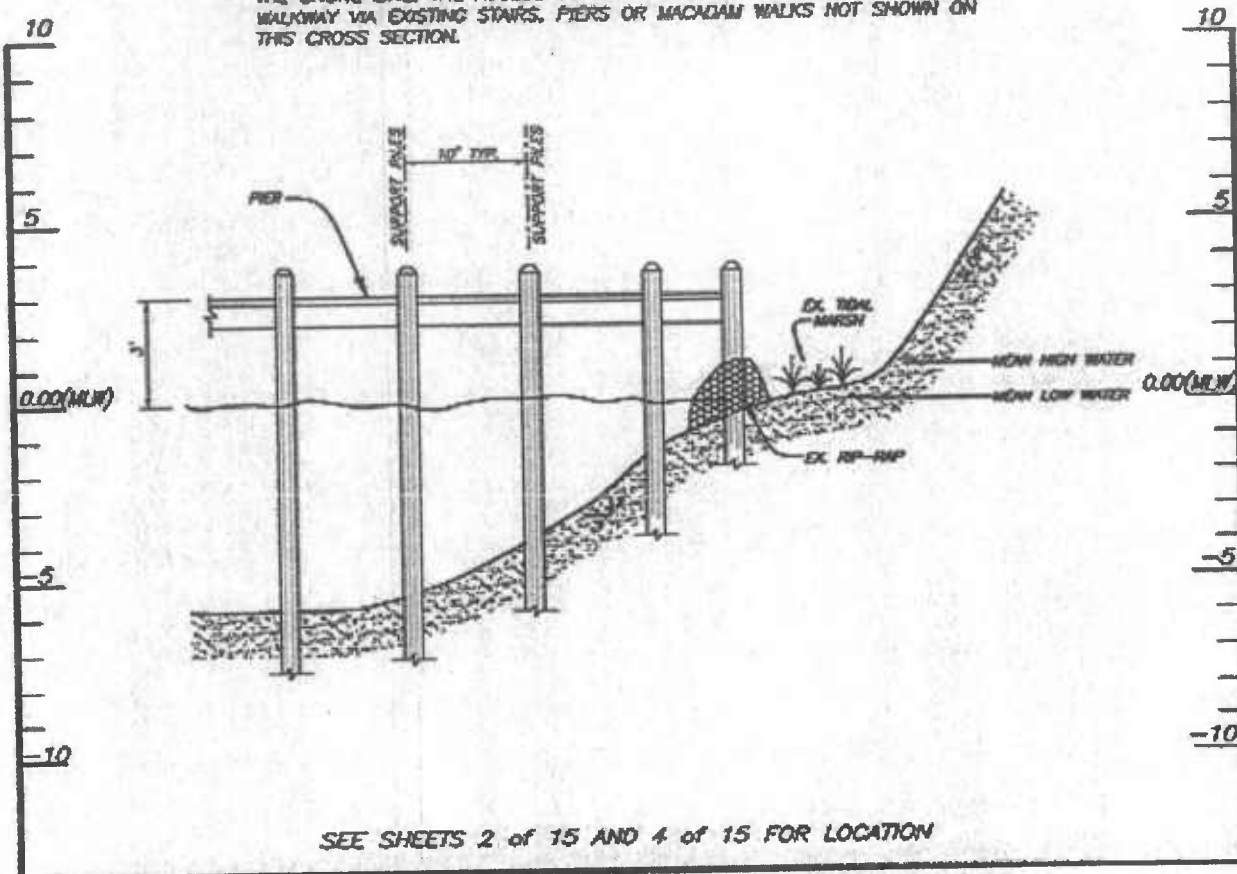
05-WL-1010
PROPOSED PIERS
PLEASURE MARINE CENTER

ANNE ARUNDEL COUNTY, MARYLAND
APPLIED BY: PLEASURE MARINE LTD. PRSHP.
DATE: FEBRUARY 28, 2008

SHEET 2 OF 15



NOTE: THE FINGER PIERS ARE CONNECTED TO A WOODEN WALKWAY THAT PARALLELS THE SHORE LINE. THE ACCESS TO LAND IS PROVIDED FROM THIS WOODEN WALKWAY VIA EXISTING STAIRS. PIERS OR MACADAM WALKS NOT SHOWN ON THIS CROSS SECTION.



TYPICAL CROSS SECTION: PERRY COVE

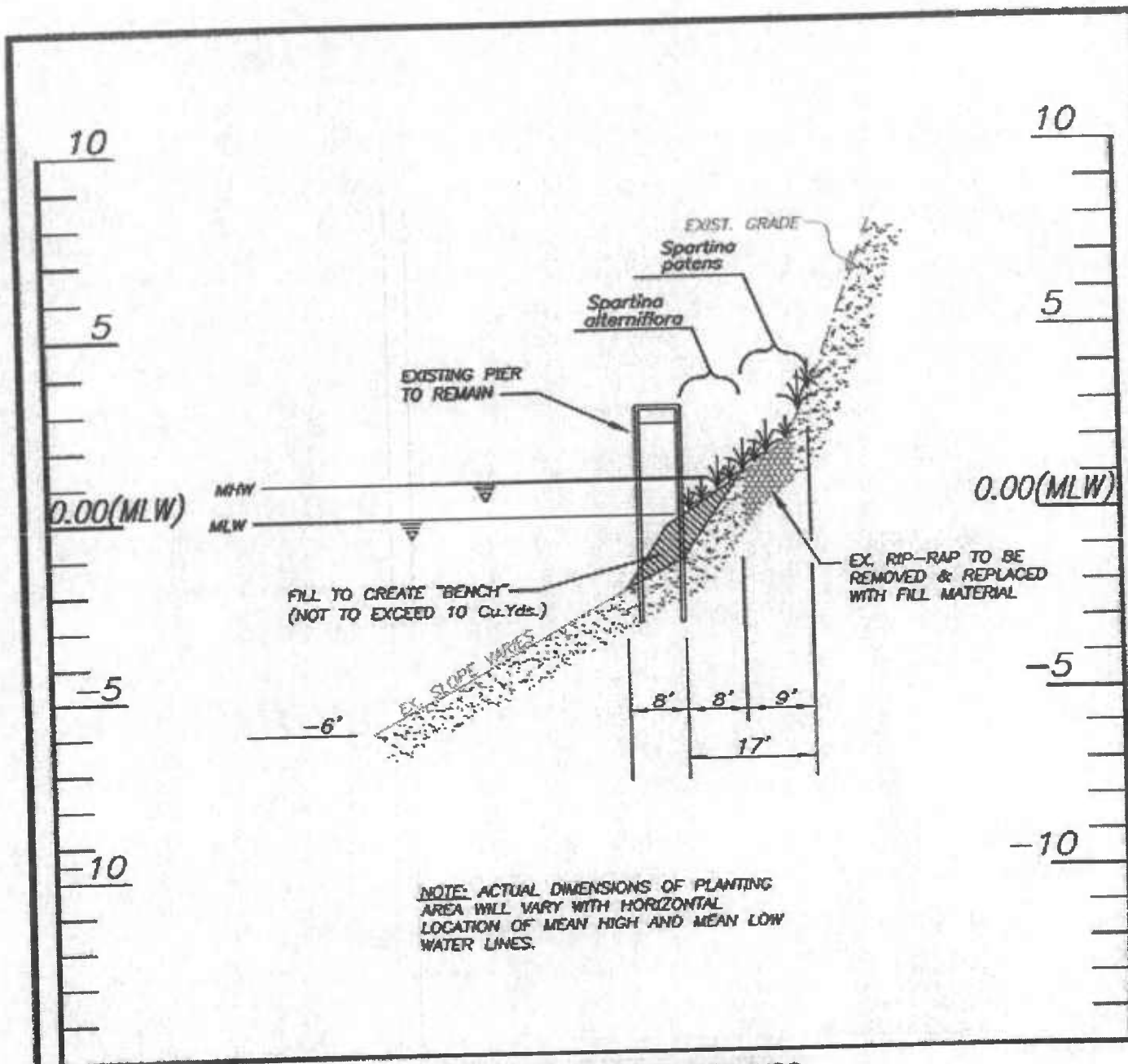
SCALE: HORIZONTALLY - NO SCALE
VERTICALLY - 1" = 5' (V)

NOTE: THE EXISTING TIDAL MARSH IS TO BE MAINTAINED BY CONTINUAL REMOVAL OF ALL PHRAGMITES VIA CUTTING OF STALKS AND INSERTION OF ROUND-UP OR COMPARABLE PRODUCT INTO STEM TO ALLOW ABSORPTION INTO THE ROOT SYSTEM.

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010
PROPOSED PIERS
PLEASURE MARINE CENTER
ANNE ARUNDEL COUNTY, MARYLAND
APPLIED BY: PLEASURE MARINE LTD. PRTSHP.
DATE: FEBRUARY 28, 2008
SHEET 6 OF 15



PROPOSED EMERGENT WETLANDS
CROSS-SECTION W₁

SCALE: 1" = 4' (V)
1" = 20' (H)

BOYD & DOWCIALLO, P.A.

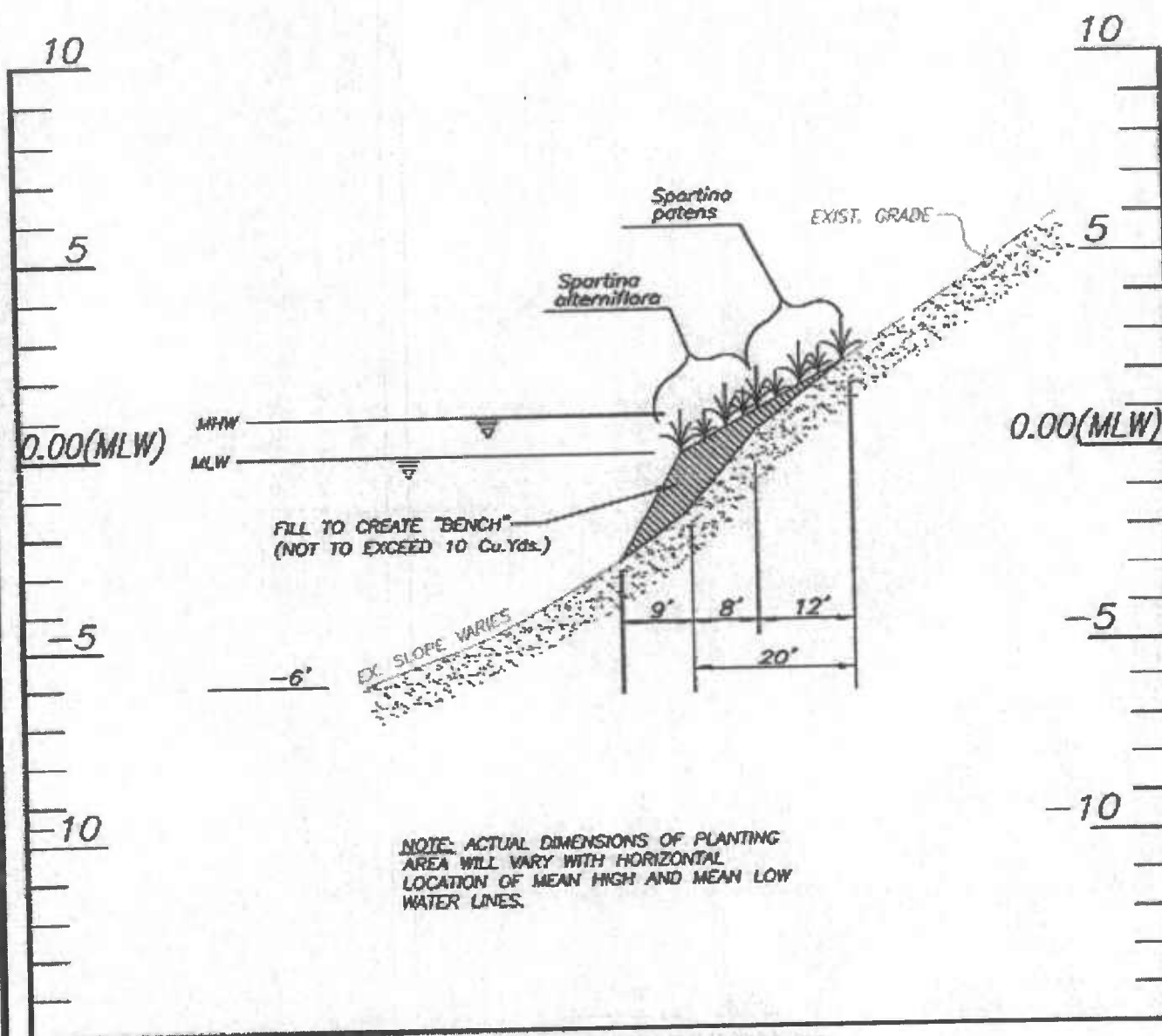
ENGINEERS*SURVEYORS*PLANNERS

757B Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010
PROPOSED FORKLIFT WELL, BULKHEAD & RAMP
PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied By: Pleasure Marine Ltd. Prtshp.
Date: FEBRUARY 28, 2008
SHEET 7 OF 15

JOB#446



**PROPOSED EMERGENT WETLANDS
CROSS-SECTION W₂**

SCALE: 1" = 4' (V)
1" = 20' (H)

BOYD & DOWGIALLO, P.A.

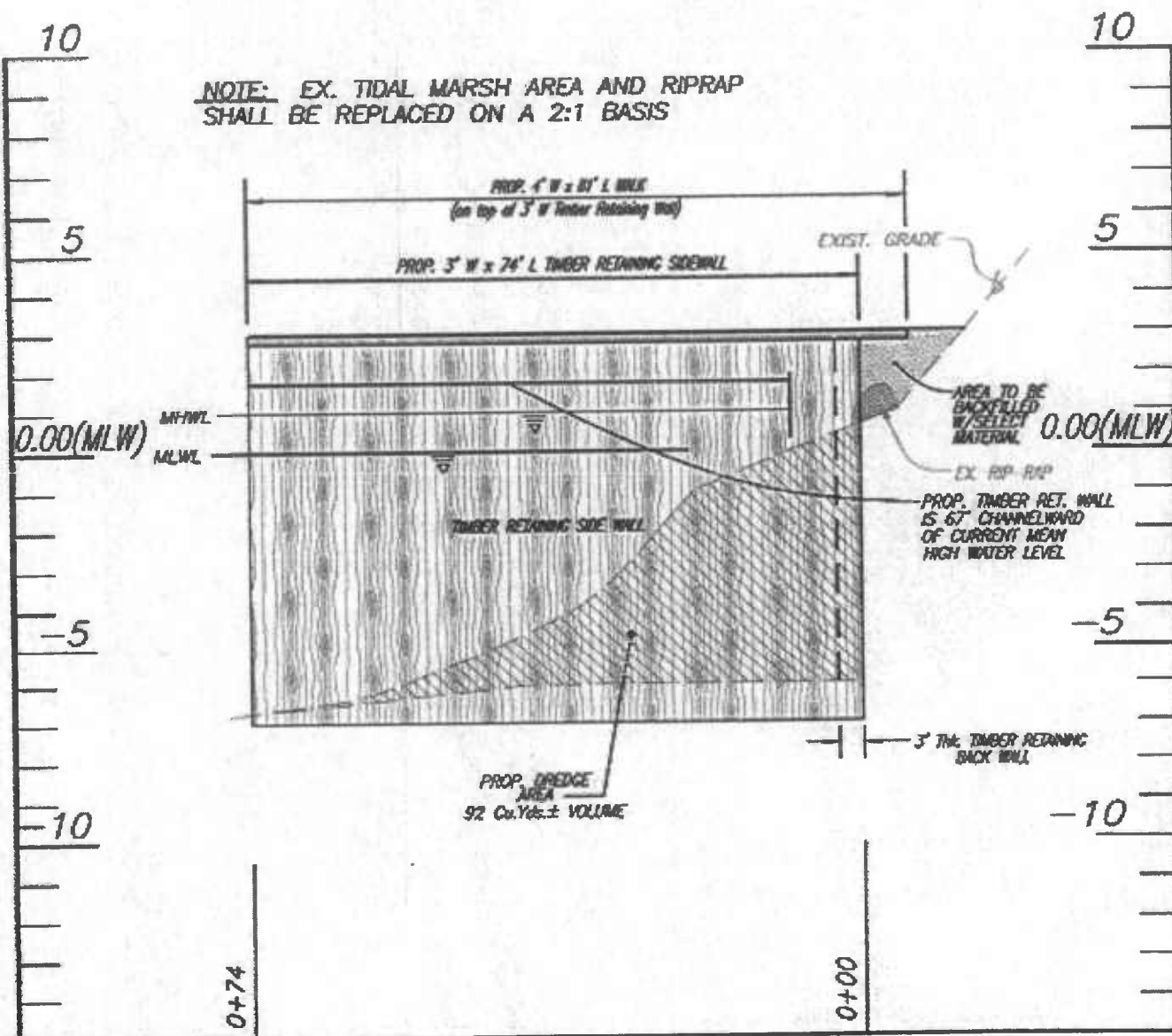
ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010
**PROPOSED FORKLIFT WELL, BULKHEAD & RAMP
PLEASURE MARINE CENTER**

Anne Arundel County, Maryland
Applied By: Pleasure Marine Ltd. Prtshp.
Date: FEBRUARY 28, 2008
SHEET 8 OF 15

JOB#446



PROFILE 'A-A' THRU FORKLIFT WELL SIDEWALL & WALK

SCALE: 1" = 4' (V)
1" = 20' (H)

NOTE: AVG. WATER DEPTH
IN EXISTING MARINA
BASIN = 6'

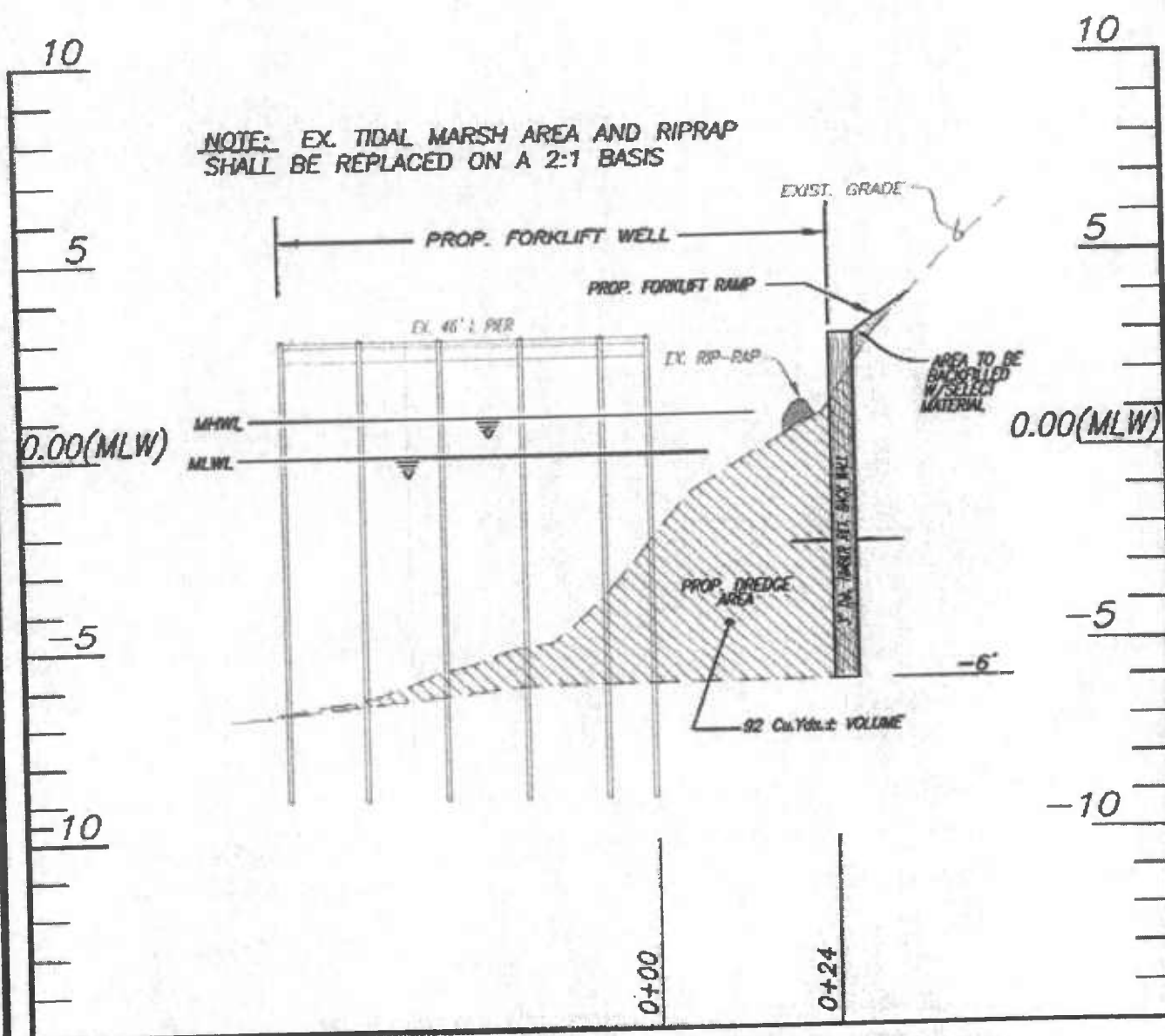
BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010
PROPOSED FORKLIFT WELL, BULKHEAD & RAMP
PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied By: Pleasure Marine Ltd. Prtshp.
Date: FEBRUARY 28, 2008
SHEET 9 OF 15



CROSS-SECTION 'B-B' THRU FORKLIFT WELL CENTER

SCALE: 1" = 4' (V)
1" = 20' (H)

NOTE: AVG. WATER DEPTH
IN EXISTING MARINA
BASIN = 6'

BOYD & DOWCIALLO, P.A.

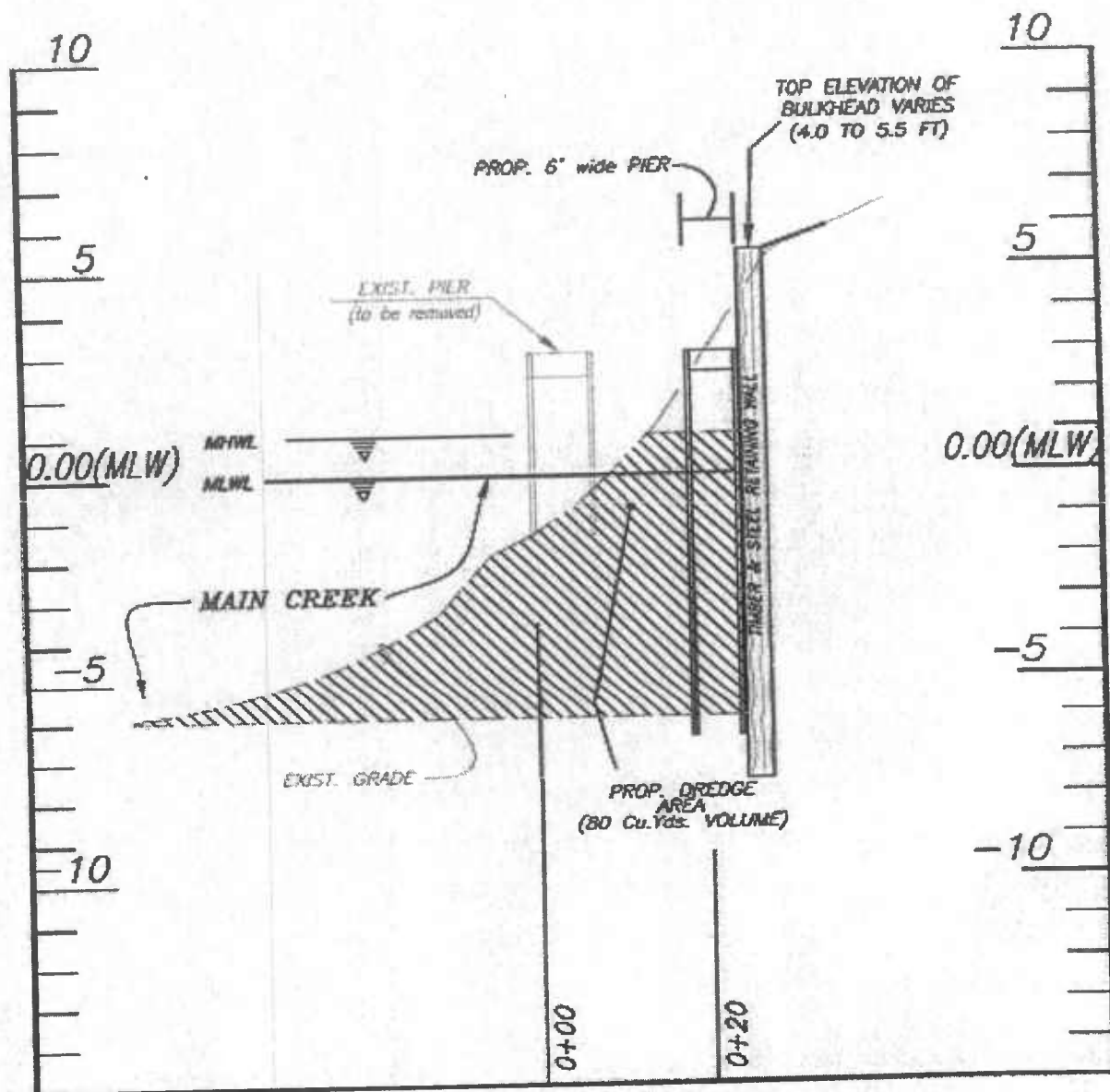
ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010
PROPOSED FORKLIFT WELL, BULKHEAD & RAMP
PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied By: Pleasure Marine Ltd. Prtshp.
Date: FEBRUARY 28, 2008
SHEET 10 OF 15

JOB#446



CROSS SECTION C-C

SCALE: 1" = 4' (V)
1" = 20' (H)

- NOTES:**
1. Average existing water depth in the marina basin is 6 ft.
 2. Proposed bulkhead at this location is for the purpose of stabilizing existing unprotected slopes and existing travel lift well after approved dredging.

BOYD & DOWGIALLO, P.A.

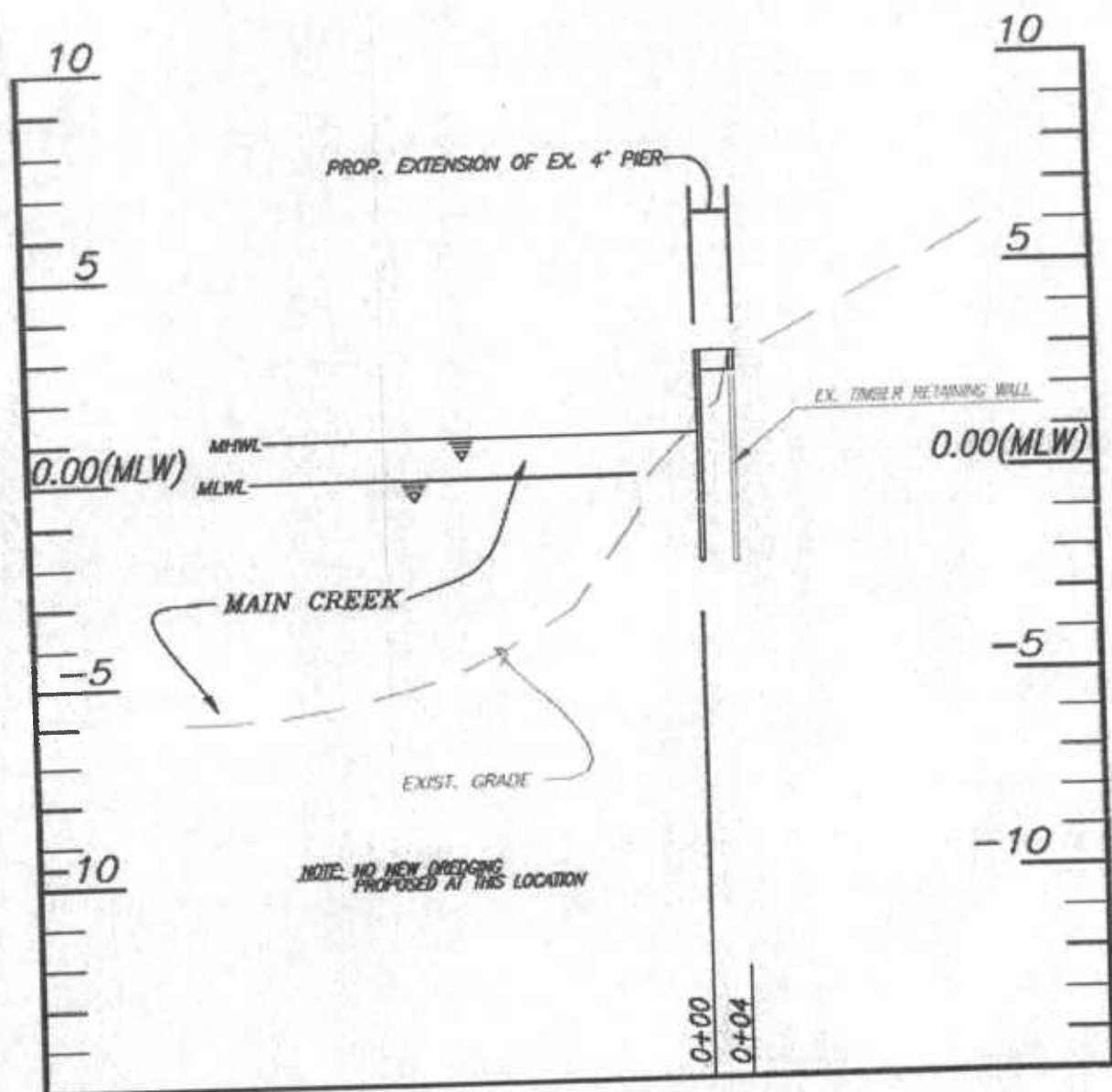
ENGINEERS*SURVEYORS*PLANNERS

7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010

PROPOSED PIER CROSS-SECTION & QUANTITIES
PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied By: Pleasure Marine Ltd. Prtshp.
Date: FEBRUARY 28, 2006
SHEET 11 OF 15



CROSS SECTION D-D

SCALE: 1" = 4' (V)
1" = 20' (H)

NOTE: AVG. WATER DEPTH
IN EXISTING MARINA
BASIN = 6'

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS

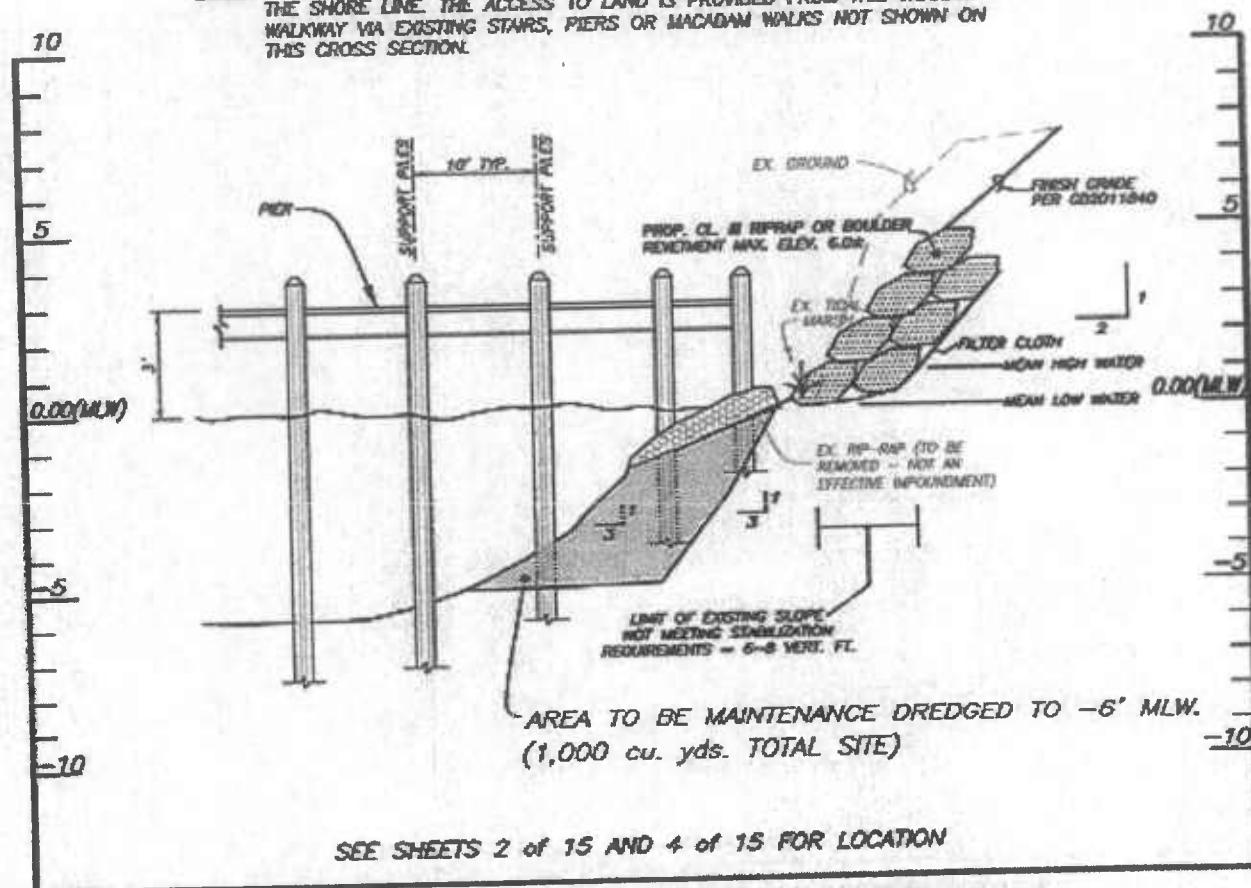
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010

PROPOSED PIER CROSS-SECTION & QUANTITIES
PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied By: Pleasure Marine Ltd. Pritshp.
Date: FEBRUARY 28, 2008
SHEET 12 OF 15

NOTE: THE FINGER PIERS ARE CONNECTED TO A WOODEN WALKWAY THAT PARALLELS THE SHORE LINE. THE ACCESS TO LAND IS PROVIDED FROM THIS WOODEN WALKWAY VIA EXISTING STAIRS, PIERS OR MACADAM WALKS NOT SHOWN ON THIS CROSS SECTION.



TYPICAL CROSS SECTION: MAIN CREEK

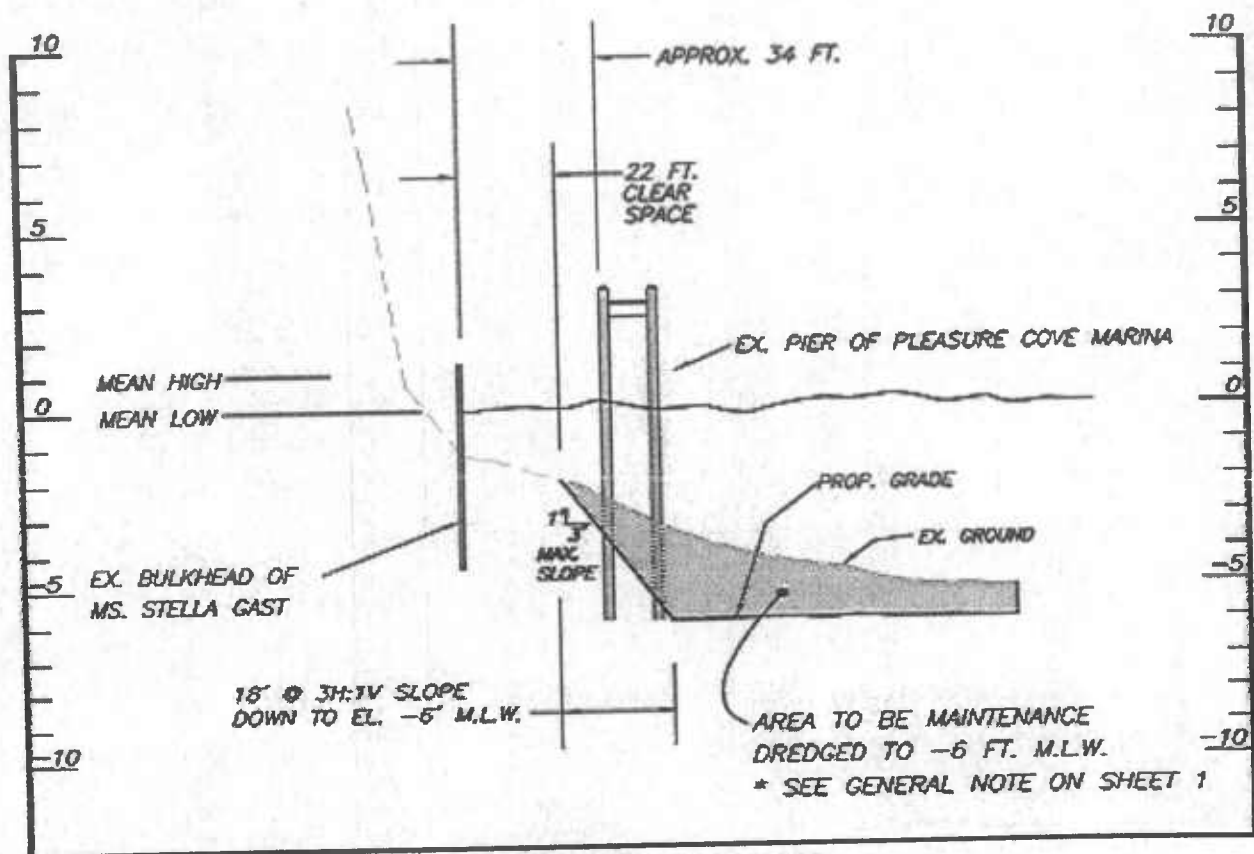
SCALE: HORIZONTALLY - NO SCALE
VERTICALLY - 1" = 5' (V)

- NOTES:
1. Removal of the portions of tidal marsh existing at this location is to be mitigated by construction of additional tidal marsh in Perry Cove.
 2. The reinforced slope is to tie into stabilized soil slope at the minimum elevation possible. Maximum elevation of the revetment is to be 6 ft.
 3. Slope shown for the revetment is the average of the entire proposed run. Individual boulders may be placed to obtain a maximum 1 ft vertical drop at the boulder face.
 4. Any void space remaining after structural stability of boulders is achieved is to be filled with acceptable planting soil and planted with native vegetation, per the Landscape and Buffer Management Plans for Anne Arundel County Grading Permit #G02011840.

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

05-WL-1010
PROPOSED PIERS
PLEASURE MARINE CENTER
ANNE ARUNDEL COUNTY, MARYLAND
APPLIED BY: PLEASURE MARINE LTD. PRTSHP.
DATE: FEBRUARY 28, 2008
SHEET 13 OF 15



SECTION E-E

SCALE: HORIZONTALLY - NO SCALE
VERTICALLY - 1" = 5' V

BOYD & DOUGLASS, P.A.

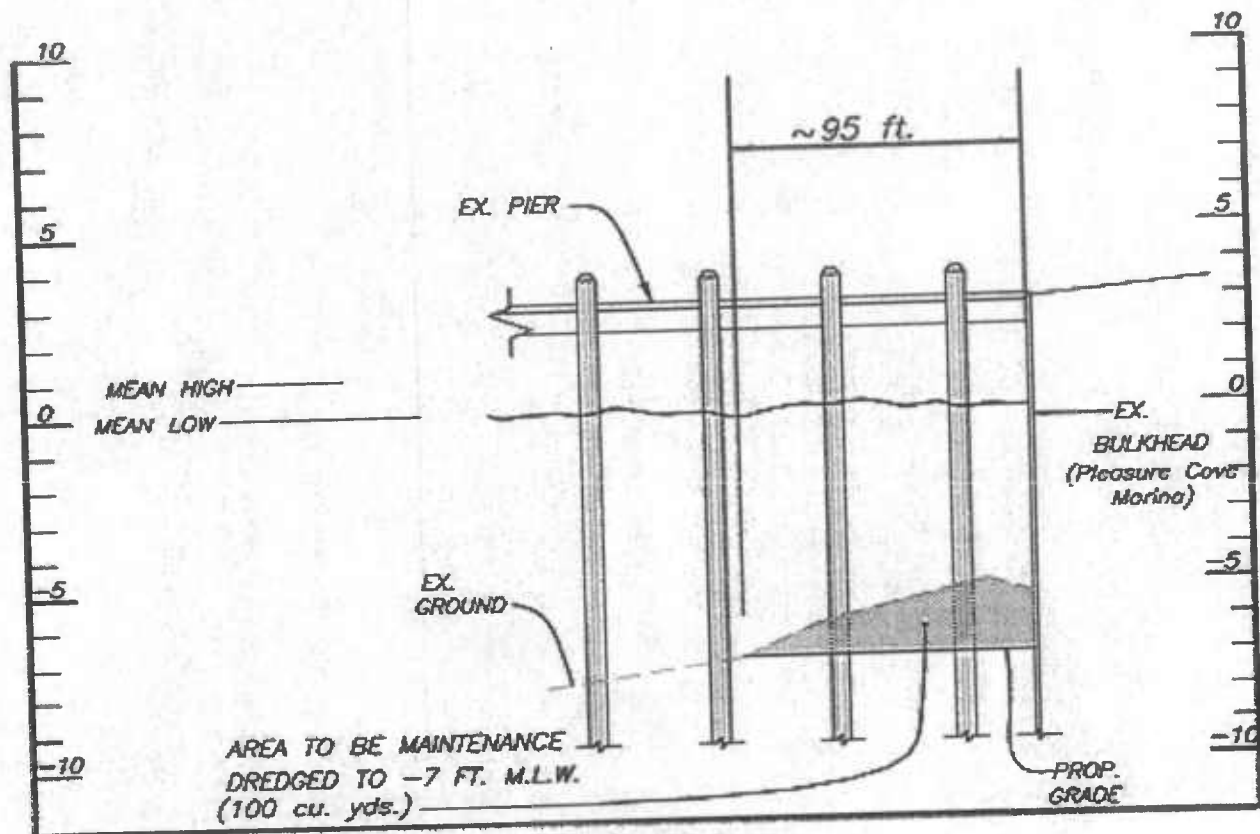
ENGINEERS*SURVEYORS*PLANNERS
7578 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

PROPOSED PIER CROSS-SECTION & QUANTITIES

PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied For By: Pleasure Marine Ltd. Prtshp.
Date: February 28, 2008
Sheet 14 of 15

JOB#446



SECTION F-F

SCALE: HORIZONTALLY - NO SCALE
VERTICALLY - 1" = 5' V

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

PROPOSED PIER CROSS-SECTION & QUANTITIES
PLEASURE MARINE CENTER

Anne Arundel County, Maryland
Applied For By: Pleasure Marine Ltd. Pkshp.
Date: February 28, 2008
Sheet 15 of 15

JOB#446



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

2005-61701-M25
Corps Permit Tracking Number

MDSPGP-3
CATEGORY I ACTIVITY (I-a(4))
Marina/Community Piers Reconfiguration

The projects, structures and activities, listed below, must comply with all activity-specific conditions, in addition to all of the general conditions of this general permit.

This activity authorizes reconfiguring an existing marina or community pier (Section 10)(Navigable waters of the United States, including nontidal navigable waters of the United States, e.g., Potomac and Susquehanna Rivers).

Conditions:

- (i) Application must be submitted to MDE for Corps authorization.
- (ii) This activity does not authorize dredging.
- (iii) The reconfiguration may not increase the footprint/surface area of waters occupied by the existing community pier or marina structures/slips etc.
- (iv) There must be no increase in channelward encroachment beyond existing piers and associated structures.
- (v) This activity does not authorize construction of new buildings on pier.



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

2005-61701
Corps Permit Tracking Number

MDSPGP-3
CATEGORY I ACTIVITY (I-a(9))
Maintenance Dredging of Previously Authorized Dredge Areas

The projects, structures and activities, listed below, must comply with all activity-specific conditions, in addition to all of the general conditions of this general permit.

This activity authorizes dredging below the plane of the ordinary high water mark or the mean high water mark as part of a single and complete project in previously authorized dredged areas (Sections 10 and 404; limited to all tidal waters).

Impact Limits: The proposed dredge area must not exceed one acre (43,560 square feet) and must not exceed the dredging depths and footprint as was previously authorized.

Conditions:

- (i) Application must be submitted to MDE for Corps authorization.
- (ii) Previous dredging within the project area must have been authorized by the Corps of Engineers no more than 10 years prior to the current proposal.
- (iii) Dredging may not be deeper than the water depths where the proposed dredge area will be connecting to.
- (iv) All dredged material must be deposited in an upland site and must be properly contained and stabilized to preclude any runoff into adjacent areas.
- (v) A post-dredging bathymetric survey (i.e., measurement of the depths of a water body) must be completed and returned to the Baltimore District Corps of Engineers along with the required compliance certification form within 60 days of completion of the dredging.
- (vi) Dredging, by any method, is prohibited during the period April 1 through June 30 within all tidal waters of the Maryland coastal bays and their tidal tributaries for protection of peak summer flounder nursery activity in these waters.
- (vii) An assessment of the presence or absence of submerged aquatic vegetation within or near the proposed maintenance dredging area must be conducted (see Submerged Aquatic Vegetation Confirmation Protocol). If submerged aquatic vegetation is confirmed as present within the proposed maintenance dredge area, dredging, by any method, is prohibited during the period April 15 through October 15 of every year. However, if submerged aquatic vegetation is confirmed only in areas outside the dredge areas but within 500 yards of the planned dredging operation, mechanical dredging is prohibited during the period April 15 through October 15 of every year.



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

2005-61701
Corps Permit Tracking Number

MDSPGP-3
CATEGORY I ACTIVITY (I-f(1))
Tidal Revetments, Tidal Shoreline Erosion Control Structures (not revetments), Existing
Tidal Revetment/Bulkhead Armoring, and Nontidal Stream Bank Stabilization

The projects, structures and activities, listed below, must comply with all activity-specific conditions, in addition to all of the general conditions of this general permit.

Tidal shoreline stabilization activities will be reviewed based on the following order of preference:

(a) nonstructural shoreline stabilization, including beach nourishment, marsh creation, root wads, and other similar measures; (b) shoreline revetments, breakwaters, groins, and similar structures designed to ensure establishment and long-term viability of nonstructural shoreline stabilization projects; (c) shoreline revetments; (d) breakwaters; (e) groins; and (f) bulkheads. Written documentation may be required to support the preferred stabilization method.

Nontidal stream bank stabilization activities include in order of preference: (a) non-structural/bioengineering bank stabilization measures such as root wads, brush layering, live stakes; (b) structural measures such as rock cross vanes, j-hooks, vortex rock weirs, imbricated riprap, conventional riprap, revetments, vegetated cribwalls; and (c) gabions. Written documentation may be required to support the preferred stabilization method.

This activity authorizes discharges of dredged or fill material associated with construction of tidal shoreline erosion control structures, construction of new tidal revetments, the addition of stone or broken concrete to an existing tidal revetment or bulkhead, and installation of nontidal stream bank stabilization structures. All work authorized by this activity, including discharges, must comply with all activity-specific impact limits and conditions listed below, in addition to the general conditions of this permit (Sections 10 and 404; limited to all waters and wetlands).

Impact Limits:

For new tidal revetments and tidal shoreline erosion control structures (e.g., low profile stone sills), the structure is limited to 500 linear feet in length along the shoreline, must not extend more than 10 feet channelward of the mean high water line and must not impact more than 10% of any adjacent marsh, wetland or SAV, with total impact to waters of the United States, including wetlands, not to exceed 5,000 square feet.

For existing revetment/bulkhead armoring, the work must not extend more than 10 feet channelward of the existing structure (i.e., revetment or bulkhead) and must not impact more than 10% of any adjacent marsh, wetland, or submerged aquatic vegetation (SAV) for each 500 foot section of armoring. Armoring is limited to the length of the existing bulkhead or revetment, with a total impact to waters of the United States, including wetlands, not to exceed ½ acre (21,780 square feet).

The nontidal bank stabilization itself is limited to 500 feet in total length and must not impact more than 10% of any adjacent marsh, wetland, or submerged aquatic vegetation (SAV), with total impact to waters of the United States, including wetlands, not to exceed ½ acre (21,780 square feet).

Conditions:

- (i) Application must be submitted to MDE for Corps authorization.
- (ii) No material may be placed in excess of the minimum needed for erosion protection.
- (iii) If stone is used, the material used must be clean stone or broken concrete. Broken concrete must be clean and free of rebar or other protruding reinforcement.

MDSPGP-3

CATEGORY I ACTIVITY (I-f(1))

Tidal Revetments, Tidal Shoreline Erosion Control Structures (not revetments), Existing Tidal Revetment/Bulkhead Armoring, and Nontidal Stream Bank Stabilization

-2-

- (iv) The activity must be constructed as close to the uplands and/or bank as structurally feasible.
- (v) This activity does not authorize reclaiming eroded land.
- (vi) No material must be of the size or type, or is placed in any location, or in any manner, so as to impair surface water flow into or out of any wetland area.
- (vii) Filter cloth must be used or the project must otherwise be designed and constructed to prevent soil from washing into the waterway.
- (viii) The activity must be constructed with material of appropriate size or class to prevent it from being washed into the waterway.
- (ix) Toe protection for new bulkheads is also authorized.
- (x) Any new revetment or tidal shoreline erosion control structure must be constructed parallel to the uplands.
- (xi) Nontidal bank stabilization material must cover only the minimum necessary for bank stabilization, must have no more than minimal effect on the stream bottom, and should not adversely modify stream hydrology and/or channel morphology. In addition, in-stream structures shall not block the passage of aquatic species.
- (xii) Structural types of nontidal bank stabilization, such as revetments, conventional riprap, and gabions, must have voids/joints and they must be planted with live stakes, to provide additional bank stabilization and stream shading.
- (xiii) Direct displacement of woody riparian vegetation should not exceed 25% within a 25-foot wide strip measured landward of the ordinary high waterline of the stream. Impacts to woody vegetation resulting from soil compaction around the root zone heavy equipment should be minimized.
- (xiv) Large-scale stream restoration projects are not authorized by this activity (i.e., project greater than 500 linear feet and/or with greater than ½ acre (21,780 square feet)) of impact. These must be reviewed as a Category III activity or under the Nationwide Permit #27 process.
- (xv) Discharges associated with nontidal bank stabilization projects must not exceed an average of one cubic yard per running foot placed along the bank below the plane of the ordinary high water mark.



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

MDSPGP-3 PERMIT COMPLIANCE, SELF-CERTIFICATION FORM (10/1/06)

Corps Permit Tracking No. 2005-6701-M27 Category & Activity Number I
Project Name Travel lift, Pier, walkway Applicant Name Pleasure Cove Marina LLC
Waterway Main Creek County Anne Arundel

Dear Permittee:

In accordance with the compliance certification condition of your MDSPGP-3 authorization, you are required upon completion of all permitted work, or if mitigation/compensation is required, within 60 days following completion of the authorized work and any required mitigation (but not the mitigation monitoring, which requires separate submittals), to complete and sign this certification form and return it to the Corps of Engineers, Baltimore District to the address shown above and include ATTN: CENAB-OP-R.

Please note that the permitted activity is subject to compliance inspections by U.S. Army Corps of Engineers representatives. As a condition of this permit, failure to return this notification form, provide the required information below, or to perform the authorized work in compliance with the permit, can result in suspension, modification or revocation of your authorization in accordance with 33 CFR Part 325.7 and/or administrative, civil, and/or criminal penalties, in accordance with 33 CFR part 326.

Please provide the following information:

1. Date authorized work commenced: _____
2. Date authorized work completed: _____
3. Was all work and any required mitigation, completed in accordance with your MDSPGP-3 authorization, including all general and/or specific conditions? YES _____ NO _____
4. Explain in detail any deviations to the authorized work and/or mitigation (use additional sheets if necessary)

5. Was mitigation accomplished through a contribution to the Maryland Nontidal Wetlands Compensation Fund?
YES _____ NO _____ (if NO complete Nos. 6 and 7 below).
6. Wetland Mitigation: Required? YES _____ NO _____ Required Completion Date _____
Completed? YES _____ NO _____ Mitigation Monitoring Reports Required? YES _____ NO _____
7. Attach labeled photographs showing completed work including mitigation area(s).

I hereby certify that, except as noted above, that all work, including mitigation, has been completed in accordance with the terms and conditions, including special conditions of the above referenced permit.

Signature of Permittee _____ Date _____

Address: _____

Telephone: _____

Signature of Contractor/Agent _____ Date _____

Address: _____

Telephone: _____



DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

REPLY TO
ATTENTION OF

Effective October 1, 2006

2005-61701-25
Corps Permit Number

CENAB-OP-R-MDSPGP-3 (MARYLAND STATE PROGRAMMATIC GENERAL PERMIT-3)

TO WHOM IT MAY CONCERN:

Upon the recommendation of the Chief of Engineers, and under the provisions of Section 404 of the Clean Water Act, as amended, and Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403), the Secretary of the Army hereby authorizes the discharge of dredged or fill material or the placement of structures into Waters of the United States, including wetlands and navigable waters. These discharges and structures must comply with all the terms and conditions identified in this MDSPGP-3. It has been determined that the project qualifies for the MDSPGP-3. Accordingly, you are authorized to undertake the activity pursuant to:

1. Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403); and/or
2. Section 404 of the Clean Water Act (33 U.S.C. 1344).

You are authorized to perform work in accordance with the terms and conditions specified in Section VI of the MDSPGP-3 effective on October 1, 2006.

VI. General Conditions: To qualify for MDSPGP-3 authorization, the prospective permittee must comply with the following general conditions, as appropriate, in addition to any activity-specific conditions in the MDSPGP-3 category list and any case-specific special conditions imposed by the Corps.

A. General Requirements:

1. **Other Permits:** Authorization under the MDSPGP-3 does not obviate the need to obtain other Federal, State, or local authorizations required by law.

2. **Applicability:** Applicability of the MDSPGP-3 shall be reviewed with reference to the Corps definition of waters of the United States, including wetlands, and navigable waters of the United States. Applicants are responsible for delineating boundaries of all waters of the United States, including wetland boundaries. The delineation of wetland boundaries shall be accomplished in accordance with the current Federal manual for identifying jurisdictional wetlands and appropriate guidance issued by the Corps of Engineers.

3. **Minimal Effects:** Projects authorized by the MDSPGP-3 shall have no more than minimal individual and cumulative adverse environmental effects.

4. **Discretionary Authority:** Notwithstanding compliance with the terms and conditions of the MDSPGP-3, the Corps retains discretionary authority to require an alternate Corps permit review for any project under all categories of the MDSPGP-3 based on concerns for the aquatic environment or for any other factor of the public interest. This authority may be invoked on a case-by-case basis during the review process for Category III activities whenever the Corps determines that, based on the concerns stated above, the potential consequences of the proposed project warrant individual review. In some rare instances, the Corps may have concerns for the aquatic environment or for any other public interest factor pertaining to a specific proposed project, which has already received a case-specific verification as a Category I activity. In order to evaluate this project under an alternate Corps permit review, the verification must be suspended in accordance with Section VII.E of the MDSPGP-3.

Whenever the Corps notifies an applicant that an alternate Corps permit may be required, authorization under the MDSPGP-3 is voided. No work may be conducted until the individual Corps permit is obtained, or until the Corps notifies the applicant that further review has demonstrated that the work may proceed under the MDSPGP-3.

5. **Single and Complete Projects:** The MDSPGP-3 shall not be used for piecemeal work and shall be applied to single and complete projects, including maintenance activities. All components of a project, including all attendant features both temporary and permanent, shall be reviewed together as constituting one single and complete project. All planned

phases of multi-phased projects (e.g., subdivisions should include all work such as roads, utilities, and lot development) shall be applied for and reviewed together as constituting one single and complete project. The MDSPGP-3 shall not be used for any activity or portion of a project, e.g., a pier or boat ramp, that is part of, or dependent on, an overall project, e.g., the dredging of a main navigation channel or a spur channel, for which an individual permit or some other alternate Corps permit is required.

6. Use of Multiple MDSPGP-3 Category I Activities: More than one Category I activity may be used to authorize a single and complete project under the MDSPGP-3. However the project must meet the specific requirements of each Category I activity and the total extent of project impacts must not exceed the acreage limit of the Category I activity with the highest specified acreage limit (e.g., if armoring the toe of an existing culvert is constructed under Category I.b(2) with an associated nontidal bank stabilization authorized under Category I.f(1), the maximum total impact limits to waters of the United States for the single and complete project may not exceed 1.0 acre (43,560 square feet).

7. Authorized Activities in Navigable Waters Subject to Section 10 of the Rivers and Harbors Act of 1899:

a. If future operations by the United States require removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable water, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

b. The U.S. Code of Federal Regulations, Title 33, Part 64 states that all structures erected in navigable waters in depths in excess of three feet at mean low water (MLW) require obstruction lights unless the applicant is advised to the contrary by the Coast Guard District Commander. If the structures authorized by this permit are to be built in water depths in excess of three feet at MLW, the permittee must contact the Commander (AOWW), Fifth Coast Guard District, Federal Building, 431 Crawford Street, Portsmouth, Virginia, 23704, to ascertain the need for obstruction lights.

B. National Concern:

1. Historic Properties: Any activity authorized by the MDSPGP-3 shall comply with Section 106 of the National Historic Preservation Act. MDE, in cooperation with the Maryland Historic Preservation Office, shall conduct an initial review and notify the Corps if any archaeological or other cultural resources are in the vicinity of the project. The Corps may require applicants to perform a survey of archaeological and historical resources in the project area. The Corps shall determine if consultation under Section 106 with MHT or the Advisory Council on Historic Preservation is required. The applicant must notify the Corps if the activity may affect any historic properties listed or eligible for listing, or that the applicant has reason to believe may be eligible for listing on the National Register of Historic Places. If the permittee, during construction of work authorized herein, encounters a previously unidentified archaeological or other cultural resource within the permit area subject to DA jurisdiction that might be eligible for listing in the National Register of Historic Places, the permittee shall immediately stop work in the permit area and notify the District Engineer. The permittee shall not begin or continue work until notified by the District Engineer that the requirements of the National Historic Preservation Act have been satisfied and that the activity may proceed. Information on the location and existence of historical resources can be obtained from the Maryland Historic Trust, Office of Preservation Services, and the National Register of Historic Places.

2. National Lands: Activities authorized by the MDSPGP-3 shall not impinge upon the value of any Federal land, including but not limited to, National Wildlife Refuges, National Forests, National Marine Sanctuaries or any area administered by the National Park Service (e.g., Assateague Island National Seashore).

3. Endangered Species: The MDSPGP-3 does not authorize any activity that may affect a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act (ESA); or which may destroy or adversely modify the critical habitat of such species unless and until appropriate coordination with the applicable resource agency(s) is complete and all such issues are resolved in accordance with the applicable regulations and the procedures outlined in the MDSPGP-3 Standard Operating Procedures. MDE, in cooperation with DNR, shall conduct an initial review and notify the Corps and FWS or NMFS if any Federally-listed species or critical habitat is likely to be in the vicinity of the project. The Corps shall determine if consultation with FWS or NMFS is required under Section 7 of the ESA. If consultation is required, the applicant, after notification, shall not begin or continue work until notified by the Corps that the requirements of the ESA have been satisfied and that the activity is eligible for authorization. Information on the location of threatened and endangered species and their critical habitat can be obtained from the FWS and NMFS.

4. **Essential Fish Habitat (EFH):** Section 305(b)(2) of the Magnuson-Stevens Fishery Conservation and Management Act requires an EFH consultation with the NMFS for any action or proposed action authorized, funded, or undertaken by a Federal agency that may adversely affect EFH. EFH has been defined by Congress as "those waters and substrate necessary to fish for spawning, breeding, feeding or growth to maturity." The designation and conservation of EFH seeks to minimize adverse effects on habitat caused by fishing and non-fishing activities. NMFS has determined that many of the MDSPGP-3 Category I activities are eligible for EFH general or programmatic concurrence and require no further EFH consultation. NMFS, in consultation with the District, has determined that individual EFH consultation is needed for some projects potentially eligible for authorization under Category I (includes those projects requiring EFH screening process under Category II) and all Category III projects of the MDSPGP-3 that may adversely affect EFH. The Corps will coordinate with NMFS as part of the Category II and Category III review procedures. EFH conservation recommendations made by NMFS will normally be included as a permit requirement by the Corps. If the EFH coordination and consultation requirements can not be resolved under the MDSPGP-3 process, an alternate Corps permit review is required for the project.

5. **Wild and Scenic Rivers:** No activity is authorized under the MDSPGP-3 that occurs in a component of the National Wild and Scenic River System, including rivers officially designated by Congress as study rivers for possible inclusion in the system, while such rivers are in an official study status, unless the appropriate Federal agency, with direct management responsibility for the river, has determined in writing that the proposed activity will not adversely affect any National Wild and Scenic River, including study rivers. Information on Wild and Scenic Rivers may be obtained from the appropriate Federal land management agency in the area (e.g., National Park Service, U. S. Forest Service, Bureau of Land Management, or U. S. Fish and Wildlife Service.)

6. **Federally Authorized Civil Works Projects:**

a. **Federal Navigation Projects:** The MDSPGP-3 does not authorize interference with any Federal navigation project. The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration. (See VI.A.7.a. above)

b. **Other Federally Authorized Civil Work Projects (i.e., flood control, dams, and reservoirs):** The MDSPGP-3 does not authorize interference with any proposed or existing Federally-authorized civil works project.

7. **Federal Liability:** In issuing this permit, the Federal Government does not assume any liability for the following:

a. Damages to the permitted project, or uses thereof, as a result of other permitted or unpermitted activities or from natural causes;

b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest;

c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit;

d. Design or construction deficiencies associated with the permitted work; and

e. Damage claims associated with any future modification, suspension or revocation of the MDSPGP-3 or any specific MDSPGP-3 verification.

8. **Navigation:** Projects authorized under the MDSPGP-3 shall not cause interference with navigation, and no attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to projects authorized under the MDSPGP-3. Nothing in the MDSPGP-3 shall in any way restrict the District Engineer, U. S. Army Engineer District, Baltimore, from exercising his legal authority to protect the public interest in navigation or from exercising his authority under the Navigation Servitude of the United States. (See VI.A.7.a. above)

C. Minimization of Environmental Impacts:

1. **Minimization:** Discharges of dredged or fill material into waters of the United States and adverse impacts of such discharges on the aquatic ecosystem shall be avoided and minimized to the maximum extent practicable on-site.

2. Mitigation:

a. Generally, compensatory mitigation will be required for all permanent tidal or nontidal wetland impacts either through the State's tidal or nontidal wetland compensation fund or by the permittee as required by special condition of the MDSPGP-3 or the State authorization.

b. Generally, compensatory mitigation will be required for all permanent impacts of 200 linear feet or greater to stream channels, rivers, and other open waters as appropriate under Federal guidance and to the extent necessary to ensure that the impacts are minimal. A proposed compensatory mitigation proposal may be submitted with the application to expedite the process. The Corps will determine if the project is eligible for authorization under the MDSPGP-3 subject to the applicant's submittal of a compensatory mitigation proposal for stream impacts. Compensatory mitigation plans for projects in or near streams or other open waters will generally include a requirement for the establishment, maintenance, and legal protection (e.g., conservation easements) of riparian areas next to open waters. Riparian areas should consist of native species. The width of the required riparian area will address documented water quality or aquatic habitat impact concerns.

3. **Work in Wetlands:** Heavy equipment working in wetlands shall be avoided if possible and, if required, soil and vegetation disturbance shall be minimized by using techniques such as timber mats, geotextile fabric, and vehicles with low-pressure tires. Disturbed areas in wetlands shall be restored to preconstruction contours and elevations upon completion of the work.

4. **Temporary Fill and Mats:** Temporary fill and the use of mats are both considered a discharge of fill material and must be included in the quantification of impact area authorized by the MDSPGP-3. Temporary fill (e.g., access roads, cofferdams) in waters and wetlands authorized by the MDSPGP-3 shall be properly stabilized during use to prevent erosion. Temporary fill in wetlands shall be placed on geotextile fabric laid on the existing wetland grade. Upon completion of the work, all temporary fills shall be disposed of at an upland site, suitably contained to prevent erosion and transport to a waterway or wetland. Temporary fill areas shall be restored to their original, pre-construction contours and revegetated with native wetland species.

5. **Erosion and Sediment Control:** Adequate erosion and sediment control measures, practices and devices, such as vegetated filter strips, geotextile silt fences, phased construction, or other devices or methods, shall be used to reduce erosion and retain sediment on-site during and after construction. These devices and methods shall be capable of (a) preventing erosion, (b) collecting sediment and suspended and floating materials, and (c) filtering fine sediment. Erosion and sediment control devices shall be removed when the work is complete and the site has been successfully stabilized. The sediment collected by these devices shall be removed and placed at an upland location, in a manner that will prevent its later erosion into a waterway or wetland. All exposed soil and other fills shall be permanently stabilized at the earliest practicable date. In-stream work shall be conducted "in the dry" whenever practicable. This should be accomplished using stream diversion devices, other than earthen or stone cofferdams. In addition, work in waters of the United States should be performed during periods of low-flow or no-flow, whenever practicable.

6. **Aquatic Life Movements:** No activity may substantially disrupt the necessary life-cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. Culverts placed in streams must be installed to maintain low flow conditions. A low flow channel must be maintained through any discharges placed for armoring across the channel so as to not impede flow in the waterway and/or not to block or impede the movements of anadromous, estuarine and resident fish. NOTE: Please refer to Appendix C for an expanded version of General Condition VI.C.6 entitled, "Guidance for Constructing Man-Made Stream Crossings and Scour Protection for Man-Made Stream Crossings to Pass Migratory Fish in The Coastal Plain Region of Maryland, and Lower Piedmont Region of Cecil, Harford, and Baltimore Counties, Maryland". This document includes recommended guidance on fish passage and hydrological parameters to ensure that man-made stream crossings do not adversely affect migratory fish.

7. Water Crossings:

- a. All temporary and permanent crossings of waterbodies shall be suitably bridged, culverted or otherwise constructed to withstand and to prevent the restriction of high flows and tidal flows; to maintain existing low flows; and to prevent the obstruction of movement by aquatic life indigenous to the water body, including anadromous, estuarine, and resident fish species.
- b. All water crossings (e.g., utility lines and road crossings) must be constructed roughly perpendicular to waters of the United States, including streams and wetlands. Where a utility line or access road is constructed parallel to a stream corridor, an undisturbed buffer shall be maintained between the utility line/access road and the waterway to avoid or minimize potential future impacts to waters of the United States. These potential impacts would include such issues as sewer line leaks or failures, future stream channel meandering, stream bank instability and failure, and right-of-way maintenance.
- c. Water crossings must be constructed "in the dry" whenever practicable. This should be accomplished by using stream diversion devices other than earthen or stone cofferdams.
- d. Equipment shall cross streams only at suitably constructed permanent or temporary crossings.
- e. Temporary structures and fills shall be removed and the area restored to its original contours and elevations, or to the conditions specified in the approved plans. The temporary structures and the areas of fill associated with these structures must be included in the total waterway/ wetlands impacts.

8. Discharge of Pollutants: All activities that are authorized under the MDSPGP-3 and that involve any discharge or relocation of pollutants into waters of the United States shall be consistent with applicable water quality standards, effluent limitations, standards of performance, prohibitions, and pretreatment standards and management practices established pursuant to the CWA (33 U.S.C. 1251 et. Seq.), and applicable State and local laws and regulations.

9. Spawning Areas: Activities, including structures and work in navigable waters of the United States or discharges of dredged or fill materials, in fish and shellfish spawning or nursery areas during spawning seasons shall be avoided. Impacts to these areas shall be avoided or minimized to the maximum extent practicable during all other times of year. Activities that result in the physical destruction (e.g., excavate, fill, or smother downstream by substantial turbidity) of an important spawning area are not authorized.

10. Waterfowl Breeding and Wintering Areas: Discharges into breeding and wintering areas for migratory waterfowl shall be avoided to the maximum extent practicable.

11. Environmental Values: The permittee shall make every reasonable effort to construct or operate the work authorized under the MDSPGP-3 in a manner that maintains as many environmental values as practicable, and that avoids or minimizes any adverse impacts on existing fish, wildlife, and natural environmental values.

D. Procedural Conditions:

1. Inspections: The permittee shall permit the District Engineer or his authorized representative(s) to make periodic inspections at any time deemed necessary to ensure that the work is being performed in accordance with the terms and conditions of the MDSPGP-3. The District Engineer may also require post-construction engineering drawings (as-built plans) for completed work, and post-dredging survey drawings for any dredging work.

2. Compliance Certification: Every permittee who receives a written MDSPGP-3 verification shall submit a signed Compliance Certification Form within 60 days following completion of the authorized work and any required mitigation (but not mitigation monitoring, which requires separate submittals). Failure to submit the Compliance Certification Form by the permittee could result in the Corps taking appropriate non-compliance enforcement action against the permit holder. The blank Compliance Certification Form will be forwarded to the permittee with the MDSPGP-3 verification. The completed form will include the following:

- a. A statement that the authorized work either was or was not done in accordance with the MDSPGP-3 verification, including any general and/or specific conditions. If the activity was not done in accordance with the MDSPGP-3 verification, including any general and/or specific conditions, the permittee shall describe the specifics of the deviation from the authorized activity.

b. A statement that any required mitigation was or was not completed in accordance with the permit conditions. If the mitigation was not completed in accordance with the permit conditions, the permittee shall describe the specifics of the deviation from the permit conditions.

c. The signature of the permittee, certifying the completion of the work and compensatory mitigation.

After the project is completed, the certification shall be sent to the Baltimore District at the following address:

**U. S. Army Corps of Engineers
Baltimore District
Attn: CENAB-OP-R
P. O. Box 1715
Baltimore, MD 21203-1715**

3. Transfer of MDSPGP-3 Verifications: If the permittee sells the property associated with a MDSPGP-3 verification, the permittee may transfer the MDSPGP-3 verification to the new owner by submitting a letter to the Baltimore District Corps of Engineers office to validate the transfer. A copy of the MDSPGP-3 verification must be attached to the letter, and the letter must contain the following statement and signature:

"When the structures or work authorized by this MDSPGP-3 are still in existence at the time the property is transferred, the terms and conditions of this MDSPGP-3, including special conditions, will continue to be binding on the new owner(s) of the property. To validate the transfer of this MDSPGP-3 permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below."

(Transferee)

(Date)

4. Maintenance: The permittee shall maintain the work or structure authorized by the MDSPGP-3 in good condition and in compliance with the terms and conditions of the MDSPGP-3.

5. Property Rights: The MDSPGP-3 does not convey any property rights, either in real estate or material, or any exclusive privileges, nor does it authorize any injury to property or invasion of rights or any infringement of Federal, State, or local laws or regulations.

6. Modification, Suspension and Revocation: The MDSPGP-3, or any verification under it, may be either modified, suspended, or revoked, in whole or in part, pursuant to DA policies and procedures and any such action shall not be the basis for any claim for damages against the United States.

7. Restoration: The permittee, upon receipt of a notice of revocation of authorization under the MDSPGP-3, shall restore the wetland or waterway to its former condition, without expense to the United States and as directed by the Secretary of the Army or his authorized representative. If the permittee fails to comply with such a directive, the Secretary or his designee may restore the wetland or waterway to its former condition, by contract or otherwise, and recover the cost from the permittee.

8. Special Conditions: The Corps may impose special conditions on any project authorized under the MDSPGP-3, in cases where the Corps determines that special conditions are necessary to avoid or minimize adverse effects on the environment or on any other factor of the public interest. Failure to comply with all conditions of the authorization/verification, including special conditions, will constitute a permit violation/unauthorized work and may subject the permittee to criminal, civil, or administrative penalties, and/or restoration.

9. False or Incomplete Information: If the project is verified by the Corps or MDE under the MDSPGP-3 and subsequently discovers that it has relied on false, incomplete, or inaccurate information provided by the permittee, the MDSPGP-3 verification may be revoked and the Government may institute appropriate legal proceedings.

10. Compliance: Any activity performed in waters of the United States, including wetlands and navigable waters, that is not in compliance with all the terms and conditions of the MDSPGP-3 that includes the MDSPGP-3 Category List activity-specific conditions, constitutes unauthorized work and is subject to an enforcement action by the Corps or the EPA. Furthermore, the MDSPGP-3 does not delegate any Section 404 enforcement or regulatory authority. When unauthorized

work occurs in waters of the United States, including wetlands and navigable waters, it is subject to one or more of the following responses by EPA and/or the Corps:

- a. A Cease and Desist order and/or an administrative compliance order requiring remedial action.
- b. Initiation and assessment of a Class I administrative penalty order pursuant to Section 309(g) of the CWA.
- c. Initiation and assessment of a Class II administrative penalty for continuing violation pursuant to Section 309(g) of the CWA.
- d. Referral of the case to the U. S. Attorney with a recommendation for a civil or criminal action.
- e. If the Corps determines that an after-the-fact application is appropriate, it will be reviewed following the appropriate procedures.
- f. Any other appropriate response.

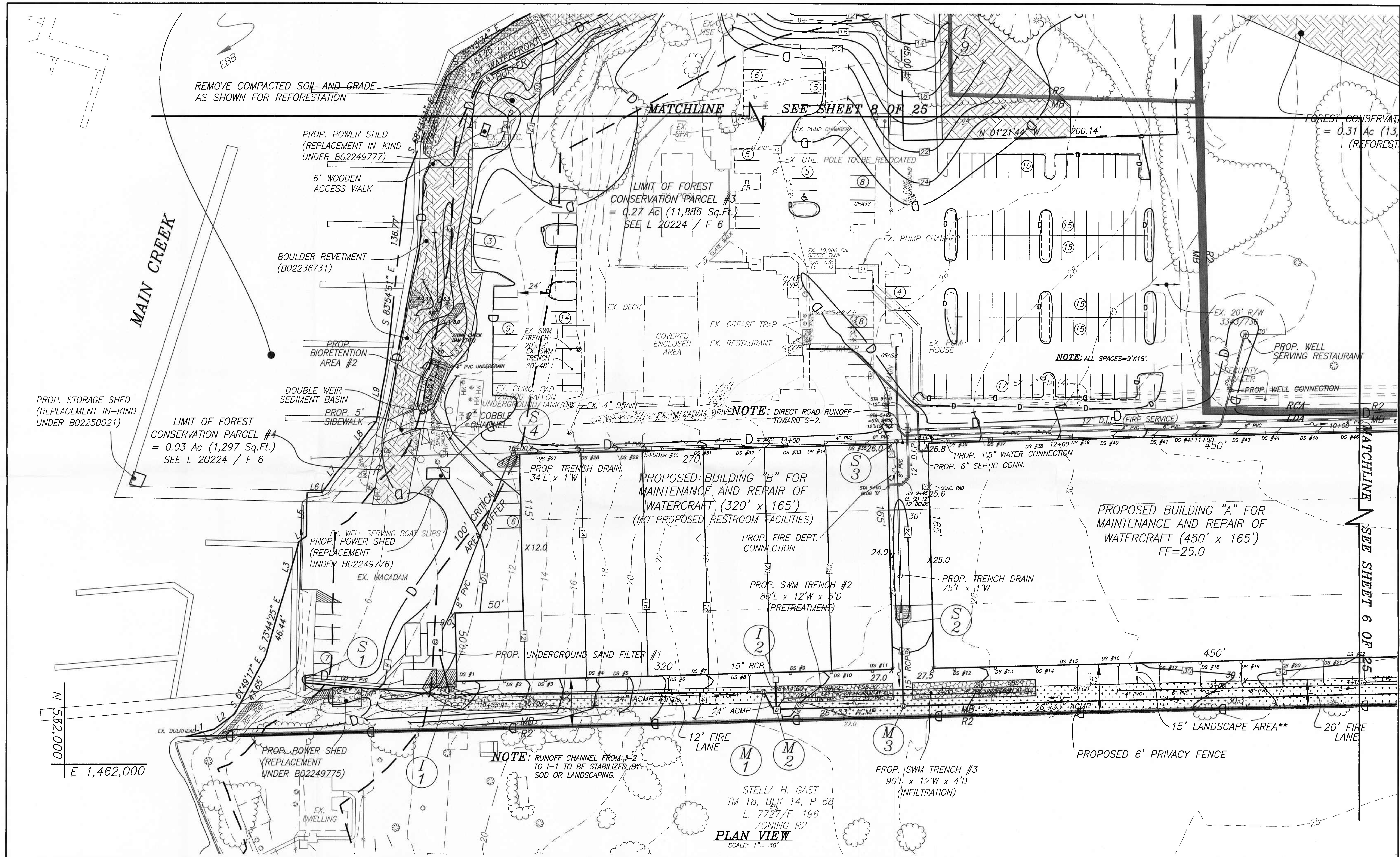
AA 0071-06

Pleasure Cove Marina

Site Plan
05-0068

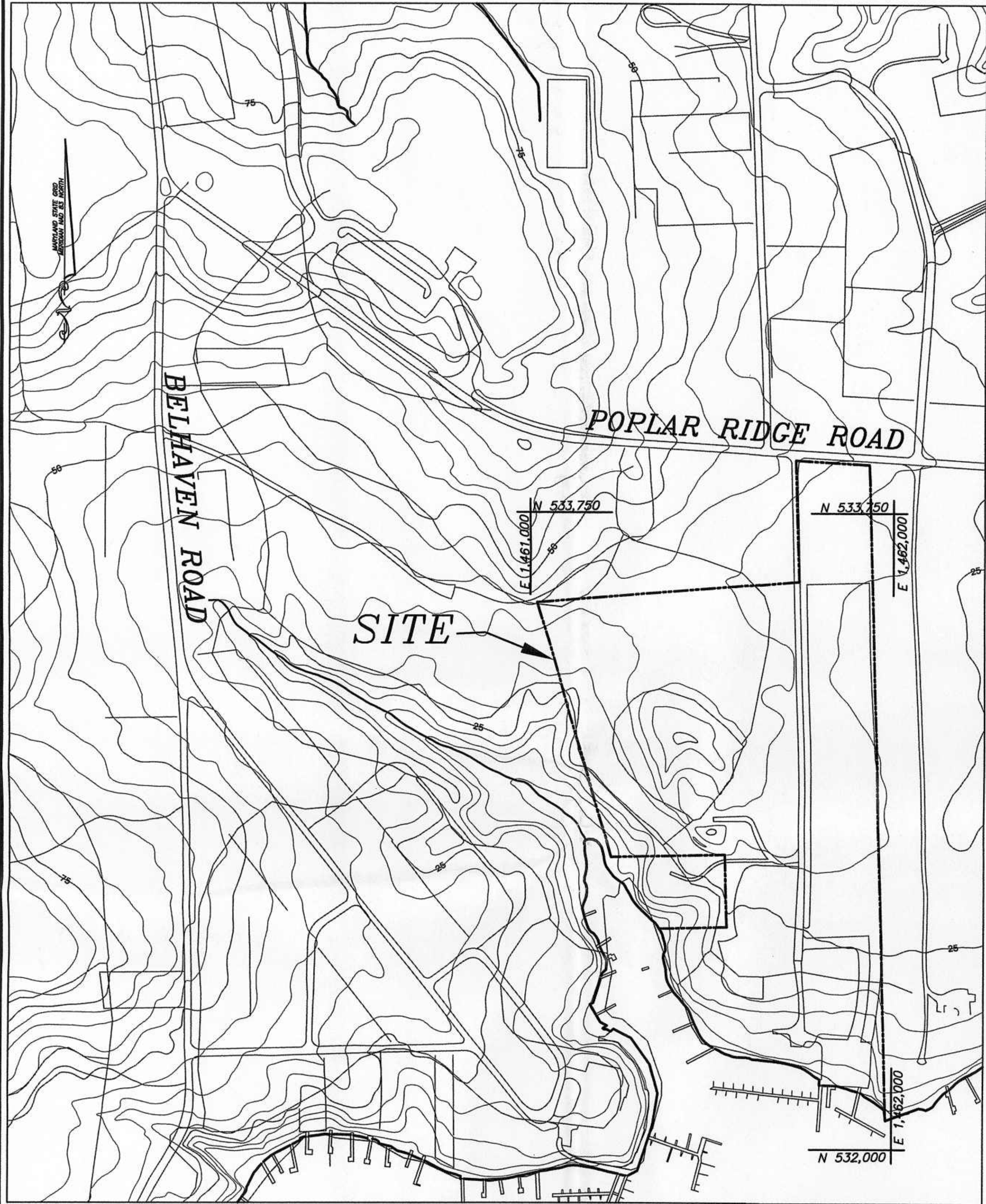
2 of 3

MSA-S-1829-5391

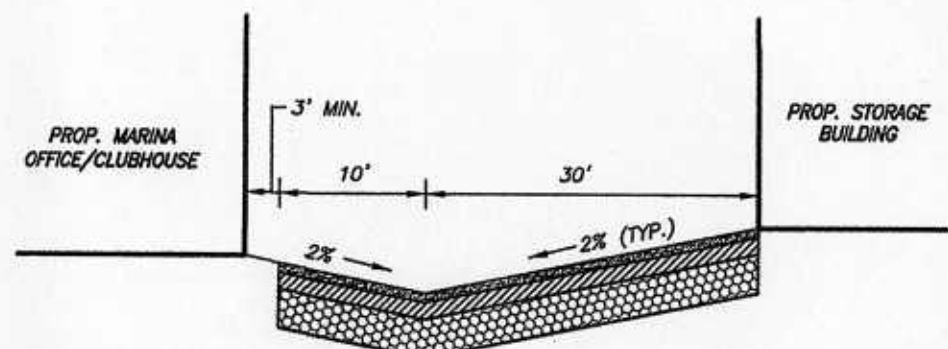


NO.	DATE	BY	REVISION	APPROVED	DATE

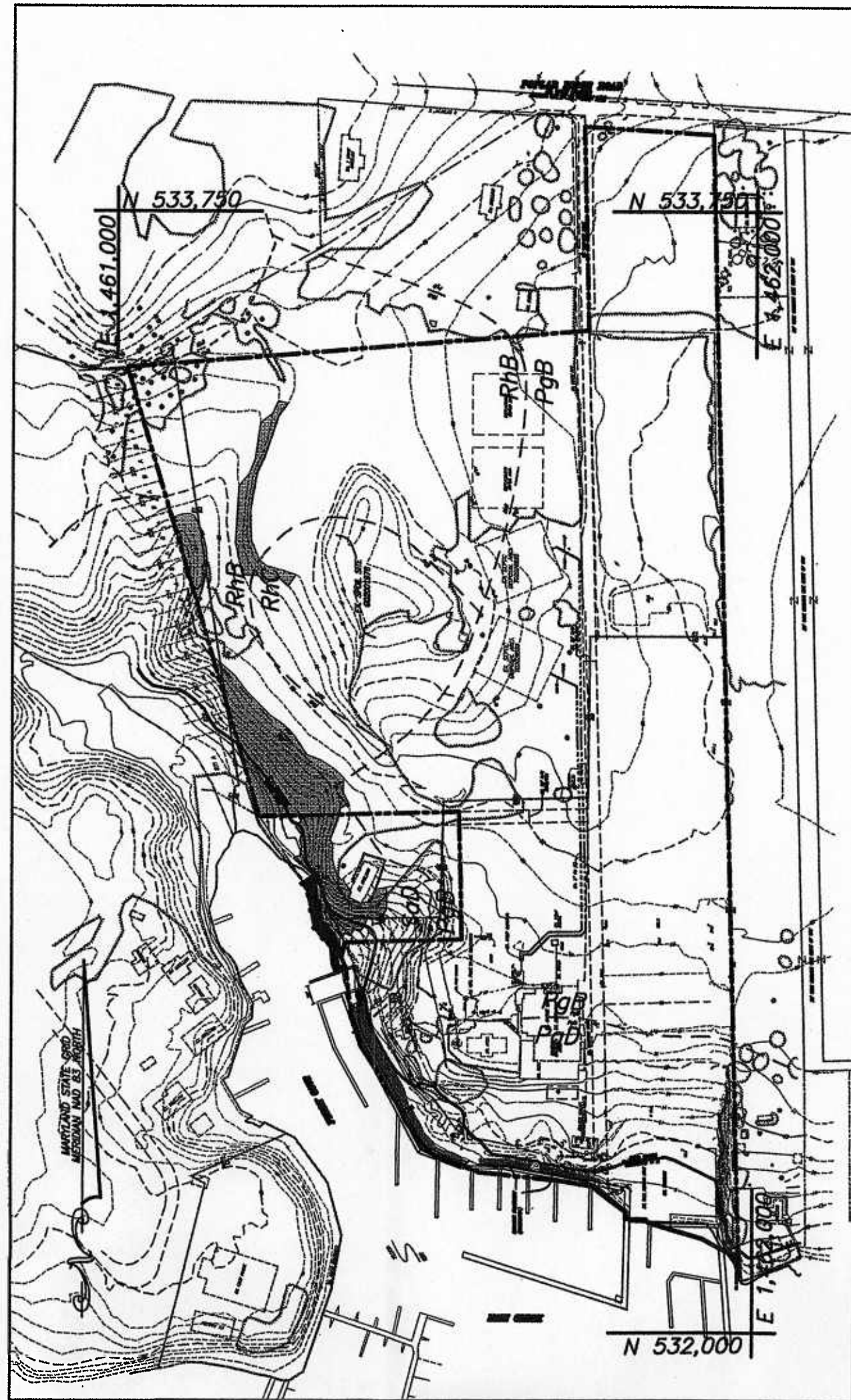
OWNER / DEVELOPER PLEASURE COVE MARINA LLC 15525 Frederick Road Rockville, Md 20855 (301) 517-8362	BOYD & DOWGIALLO, P.A. ENGINEERS*SURVEYORS*PLANNERS 7678 Quarterfield Road Suite 201 Glen Burnie, Maryland 21061 (410) 863-1234		SITE DEVELOPMENT PLAN: SE INSET VIEW REDEVELOPMENT OF PLEASURE COVE MARINA 1701 POPLAR RIDGE ROAD TAX MAP 18, BLOCK 14, PARCEL 73 ANNE ARUNDEL CO., MD 21122 JOB#446
---	---	--	--



LOCATION PLAN
SCALE: 1"=200'



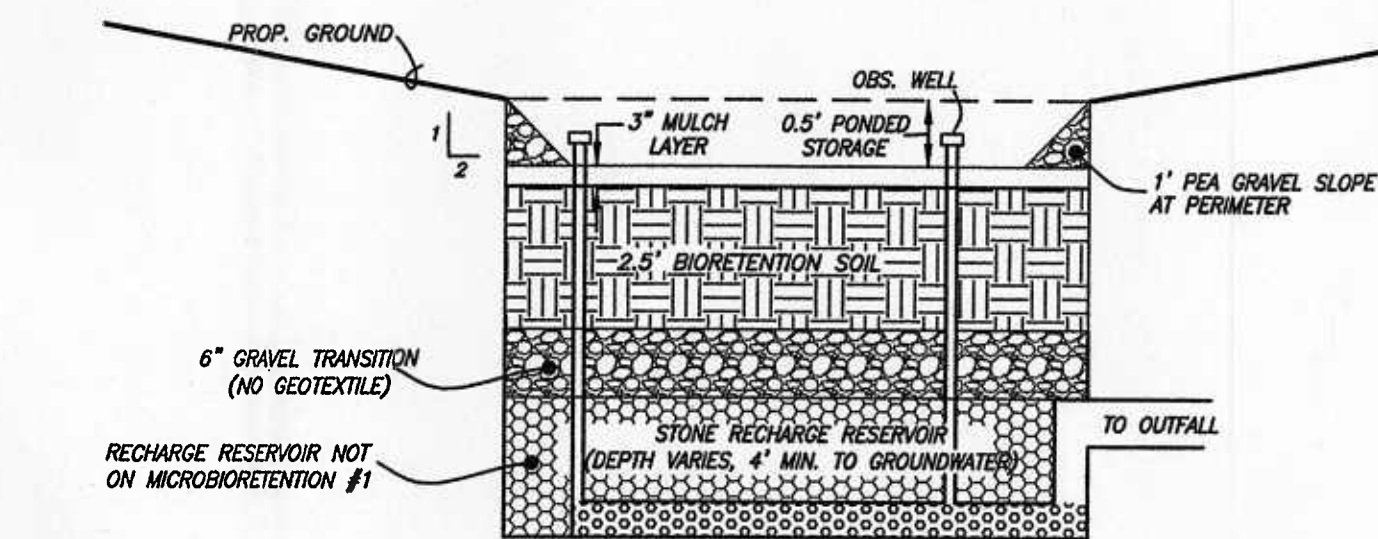
TYPICAL PAVEMENT SECTION
NOT TO SCALE



SOILS MAP
SCALE: 1"=200'

SOIL LEGEND

RhC- Russett-Allaway-Hambrook Complex, 5 to 10% slopes (B)
RhB- Russett-Allaway-Hambrook Complex, 0 to 5% slopes (B)
SoD- Sassafras fine sandy loam, 10 to 15% slopes (B)
PgB- Patapsco-Fort Mott-Urban Land Complex, 0 to 5% slopes (A)
PgD- Patapsco-Fort Mott-Urban Land Complex, 5 to 15% slopes (A)



TYPICAL MICRO-BIORETENTION CROSS SECTION
NOT TO SCALE

GENERAL NOTES

1. Notify the Anne Arundel County Department of Planning and Code Enforcement, Inspection Division, (410)222-7764 (48) forty-eight hour before beginning the work shown on these plans.
2. The existing utilities and obstructions shown are from the best available records and shall be verified by the contractor prior to construction. Necessary precautions shall be taken by the contractor to protect existing services and mains, and any damage to them shall be repaired immediately at his own expense.
3. It shall be distinctly understood that failure to mention specifically any work which would normally be required to complete the project shall not relieve the Contractor of his responsibility to complete such work.
4. Temporary sediment control measures shall be maintained until all contributing areas are graded and stabilized.
5. The property and topographic information shown hereon is based on field run surveys provided by Boyd & Dowgiallo, P.A.
6. All disturbed areas shall be seeded or better as per plans.
7. The user is responsible to verify all information shown on these plans.
8. The Contractor shall note that in case of a discrepancy between the scaled and the computed dimensions shown on these plans, the computed dimensions shall govern.
9. The grading quantities shown hereon are for permit purposes only and should not be used for bidding purposes.
10. All construction shall be in conformance with the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control".
11. The downspouts for the proposed building shall drain to the proposed infiltration trenches and bioretention facilities.
12. For exact building dimensions, see Architectural Plans, by others.
13. Forest conservation for the subject property is provided within FCE parcel #1 of 10.
14. Mitigation for improvements within the Buffer Modification Area is provided in FCE parcels #1 through #5 of 10. FCE parcel #1 includes a small amount of active reforestation area. The balance of parcel #1 is reforesting forest bonded as reforestation. FCE parcels #2 through #5 include shoreline buffer and mitigation plantings bonded as reforestation under grading permit 02011846. The reforesting portion of FCE parcel #1 is to be certified as reforested area at the time of acceptance of the plantings in parcels #2 through #5.
15. FCE parcels #6 through #10 of 10 include reforestation bonded under Compliance Case #E-2008-0357. See sheet 25 for banding information.
16. All work on the plans and forklift well under B02236731 & B02236732 is governed by MDE Wetlands License 2005-1010. The creation of emergent tidal wetland along Parcel 211 as mitigation for wetland removal under this wetlands license is governed by MDE general license 2008-GL-1240 and is subject to approval of a building permit.
17. Benchmark

OUTFALL STATEMENT

The subject property is located along the north bank of Main Creek, a tidal waterway. Under the approved SDP, three outfalls for concentrated runoff were identified:

#1: Direct pipe outfall to Main Creek from a storm drain system to and from the SWM facilities for the proposed maintenance buildings (A & B).

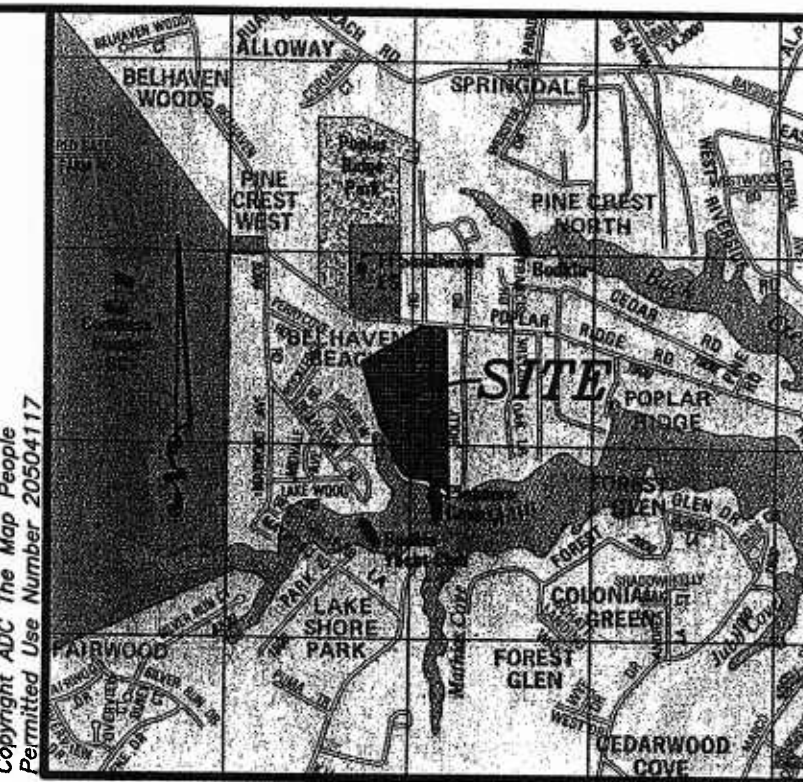
#2: Existing (degraded/draused) riprap outfall down the embankment of the edge of the restaurant parking lot. To be reconstructed under the approved SDP as a three-stage step-pool system.

#3: Existing swale, to receive pipe discharge near MHW to two-stage step-pool system. Primary source of existing and proposed runoff is west side of existing morine storage area.

Runoff from the proposed additional improvements will be directed to Outfall #2. This outfall will be reconstructed to safely convey the 100-year discharge from the proposed contributing area.

FLOODPLAIN NOTE

The limits of the 100 Year tidal floodplain shown hereon are based upon F.E.M.A. Flood Insurance Rate Map, Community Panel No. 240008-0014 C of Anne Arundel County, MD (Unincorporated Area) dated 5/2/83, and are equal to elevation 8. Due to the dominance of the tidal floodplain relative to the area contributing runoff to Main Creek, a nontidal floodplain study has not been performed.



VICINITY MAP
SCALE: 1"=2000'

LEGEND

Existing Contour	---
Existing Wire Fence	---
Existing Woods Line	---
Existing Stormdrain Inlet	---
Existing Stormdrain Monhole	---
Existing Well	---
Existing Utility Pole	---
Existing Guy Wire	---
Existing Zoning Line	---
Existing Soils Line	---
Existing Critical Area Line	---
Proposed Contour	---
Proposed Super Silt Fence	---
Proposed Limit of Disturbance	---
Stabilized Construction Entrance	---
Limit of 100-year Floodplain	---
25' / 100' Critical Area Buffer	---

EXISTING SITE ANALYSIS

Existing Zoning MB/R2
R2 Area 593,083 Sq. Ft.± (13.62 Ac±)
MB Area 371,131 Sq. Ft.± (8.52 Ac±)
R1 Area 19,641 Sq. Ft.± (0.45 Ac±)
Total Site Area 983,855 Sq. Ft.± (22.59 Ac±)
Total Vegetated Area 111,949 Sq. Ft.± (2.57 Ac±)
Existing Woodlands 329,524 Sq. Ft.± (7.56 Ac±)
Existing Woodlands cleared 14,347 Sq. Ft.± (0.33 Ac±)
Total Disturbed Area 329,917 Sq. Ft.± (7.57 Ac±)
Within 100 Year Floodplain 41,177 Sq. Ft.± (0.95 Ac±)
Within Critical Area Buffer 85,419 Sq. Ft.± (1.96 Ac±)
Existing Impervious Area 305,075 Sq. Ft.± (7.00 Ac±)
Proposed Impervious Area* 284,352 Sq. Ft.± (6.53 Ac±)
Ex. Impervious Area (MB) 265,490 Sq. Ft.± (6.09 Ac±)
Prop. Impervious Area (MB)* 263,576 Sq. Ft.± (6.05 Ac±) (71%)
Ex. Impervious Area (R2) 39,585 Sq. Ft.± (0.91 Ac±)
Prop. Impervious Area (R2) 20,776 Sq. Ft.± (0.47 Ac±) (3%)
Predominant Soil Types:

RhC- Russett-Allaway-Hambrook Complex, 5 to 10% slopes (B)
RhB- Russett-Allaway-Hambrook Complex, 0 to 5% slopes (B)
SoD- Sassafras fine sandy loam, 10 to 15% slopes (B)
PgB- Patapsco-Fort Mott-Urban Land Complex, 0 to 5% slopes (A)
PgD- Patapsco-Fort Mott-Urban Land Complex, 5 to 15% slopes (A)
Grading Quantities 11,500 cu. yds. Cut
300 cu. yds. Fill

* Include 7,900 sf of forklift access on Parcel 211.

PROPOSED SITE ANALYSIS

Add'l Disturbed Area 40,400 Sq. Ft.± (0.93 Ac±)
w/ 100' Buffer 7,580 Sq. Ft.± (0.17 Ac±)
Total Disturbed Area 361,300 Sq. Ft.± (8.28 Ac±)
Maximum Impervious Area 305,075 Sq. Ft.± (7.00 Ac±)
Proposed Impervious Area* 295,496 Sq. Ft.± (6.78 Ac±)
Existing Parking in LOD 26 Spaces (0 HC)
Proposed Parking in LOD 53 Spaces (4 HC)

* Include 7,900 sf of forklift access on Parcel 211, and excludes removal of existing restaurant.

SHEET INDEX

Title Sheet w/ 200 Scale Location and Soils Maps	1
200 Scale Resource Map & Site Map w/ 100 Scale Insets	2
Outfall (P.O.) Maps and Data	3
100 Scale Drainage Area Maps	4
100 Scale Concept Plan w/ 30 Scale Inset	5

OWNER / DEVELOPER

PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, Md 20855
(301) 517-8362

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234



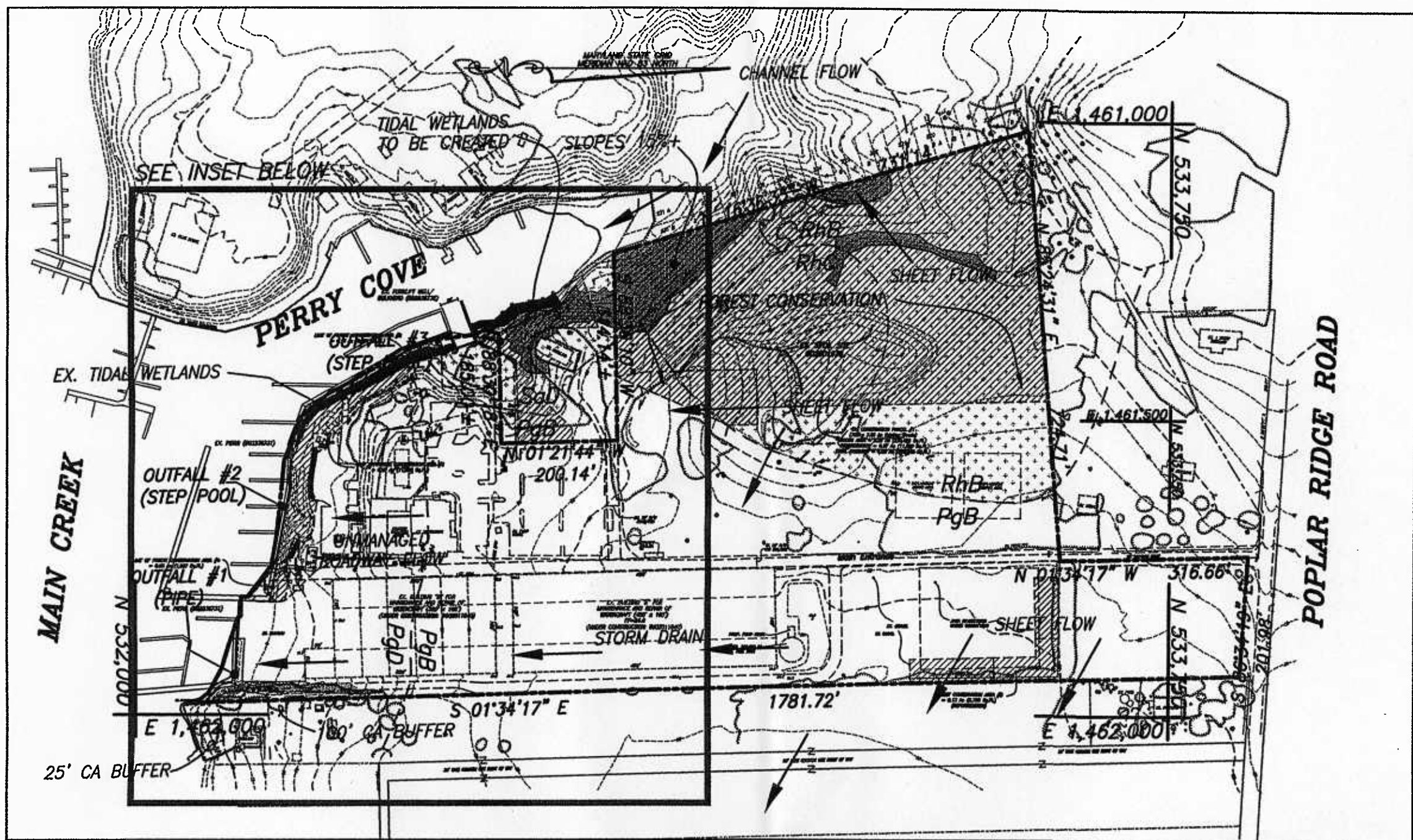
SWM CONCEPT PLAN - RESTAURANT AND OFFICES

REDEVELOPMENT OF PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73
ZONED MB/R2

ANNE ARUNDEL CO., MD 21122

JOB#446



OVERALL RESOURCE MAP
SCALE: 1"=200'

GENERAL LEGEND

- TIDAL WETLAND
- FOREST CONSERVATION OR REFORESTATION
- FIRE LANE (GRASS)
- PAVEMENT

SOIL LEGEND

- HSG A
- HSG B

SOILS TABLE	
HSG A (Pg Soils)	15.48 Ac.± (15.08 Ac.± onsite)
HSG B (Sa & Rh Soils)	8.26 Ac.± (7.51 Ac.± onsite)

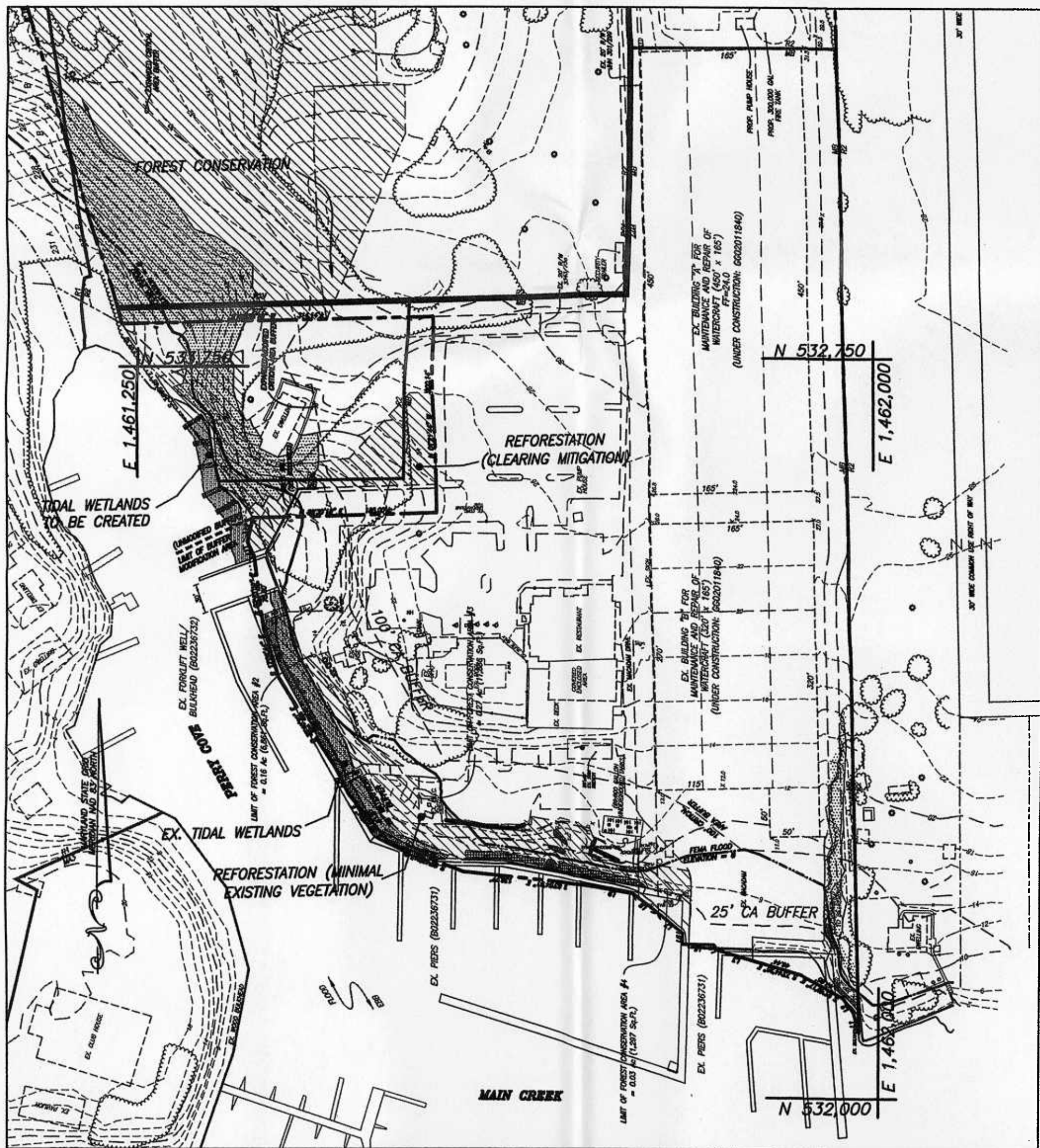
NOTE: Totals including landlocked residential parcel (211) shown for continuity.



NOTE: SITE MAP SHOWS PROPOSED FINAL CONDITION UNDER APPROVED SITE DEVELOPMENT PLAN / GRADING PERMIT.

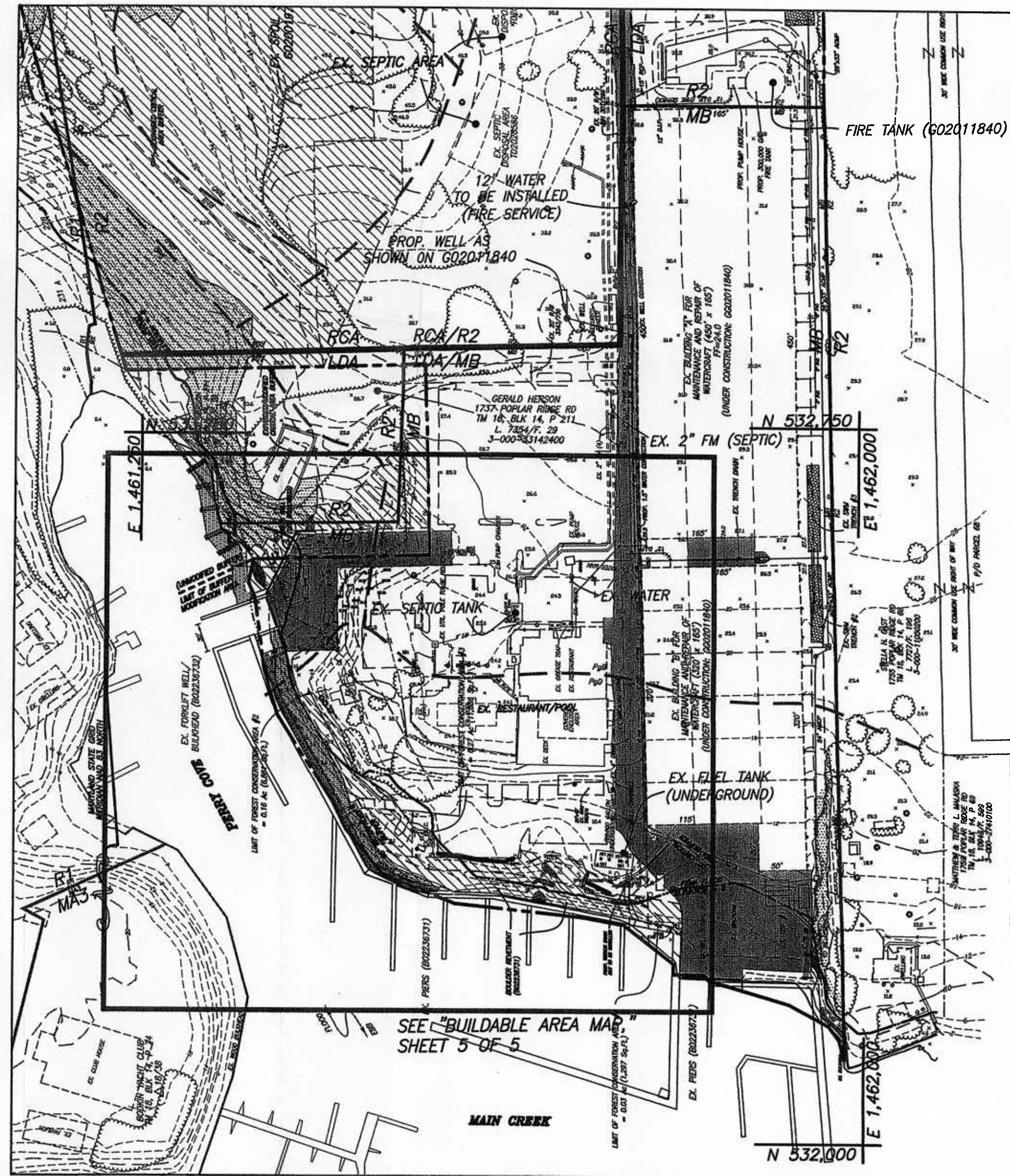
SITE MAP
SCALE: 1"=200'

NOTE: NO PLANNED PUBLIC SEWER OR WATER SERVICE.



INSET: DEVELOPMENT AREA RESOURCE MAP
SCALE: 1"=100'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 14°44'33" E	21.23'
L2	S 36°15'14" E	18.60'
L3	S 73°44'21" E	41.06'
L4	S 35°01'39" E	6.80'
L5	S 89°06'17" E	32.00'
L6	S 00°00'00" E	11.00'
L7	S 52°41'47" E	33.90'
L8	S 52°41'44" E	32.10'
L9	S 78°45'21" E	42.17'
L10	S 25°44'24" E	31.02'
L11	S 25°01'01" E	16.55'
L12	S 17°52'03" W	24.68'



INSET: DEVELOPMENT AREA SITE MAP
SCALE: 1"=100'

OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15325 Frederick Road
Rockville, Md 20855
(301) 517-6362

BOYD & DOWGIALLO, P.A.
ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234



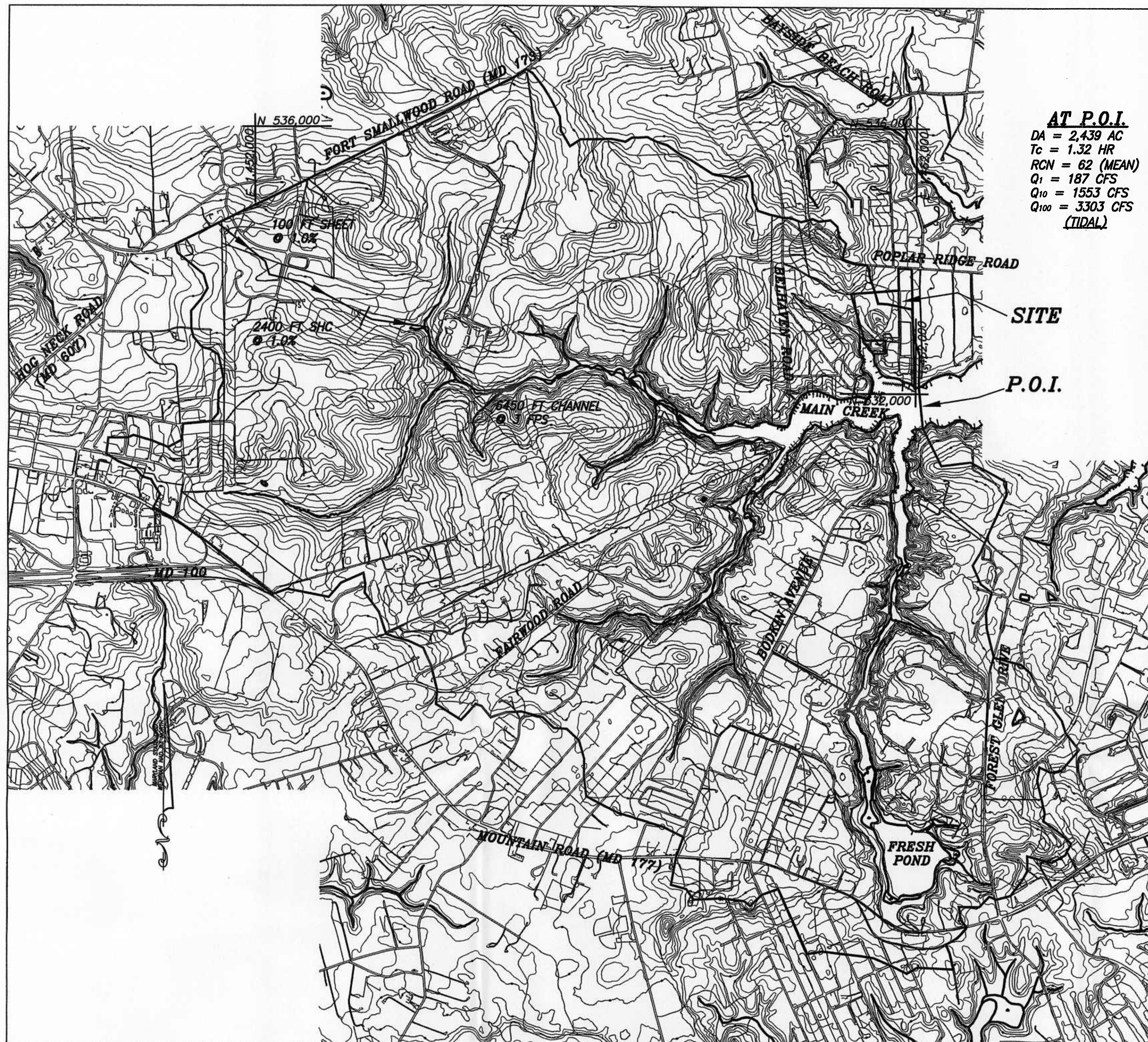
SWM CONCEPT PLAN – RESOURCE AND SITE MAPS

DRAWN BY: JMF	SCALE: 1" = 100'
CHECKED BY: DGB	SHEET NO. 2 OF 5
DATE: MARCH, 2010	G.P. # G02011840
	PROJECT. # C2005-068
	JOB NO. 446

REDEVELOPMENT OF PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73
ZONED MB/R2

THIRD DISTRICT ANNE ARUNDEL CO., MD 21122



POINT OF INVESTIGATION DRAINAGE AREA MAP
SCALE: 1"=1000'



POINT OF INVESTIGATION SOILS/ZONING MAP
SCALE: 1"=2000'

SOIL LEGEND

D	R1	R2	MA	MB	C	OS
94.42	205.71	175.96	0	7.42	1.61	10.12
664.55	371.76	326.54	1.9	0.56	29.93	47.7
62.5	49.42	51.5	0	0	0.87	16.2
0	0.11	0.41	0	0	0	21.43

Table S: Area to POI, by HSG and zoning.

HSG A	
HSG B	
HSG C	
HSG D	

REVISION	APPROVED	DATE

OWNER / DEVELOPER

PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, Md 20855
(301) 517-8362

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE SOILS/ZONING MAPS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10464, EXPIRATION DATE: 7-2-10.

SWM CONCEPT PLAN – OUTFALL MAPS AND DATA

DRAWN BY: JMF	SCALE: AS SHOWN
CHECKED BY: DGB	SHEET NO. 3 OF 5
DATE: MARCH, 2010	G.P. # G02011840
PROJECT: # C2005-068	PROJECT: # C2005-068
JOB NO. 446	JOB NO. 446

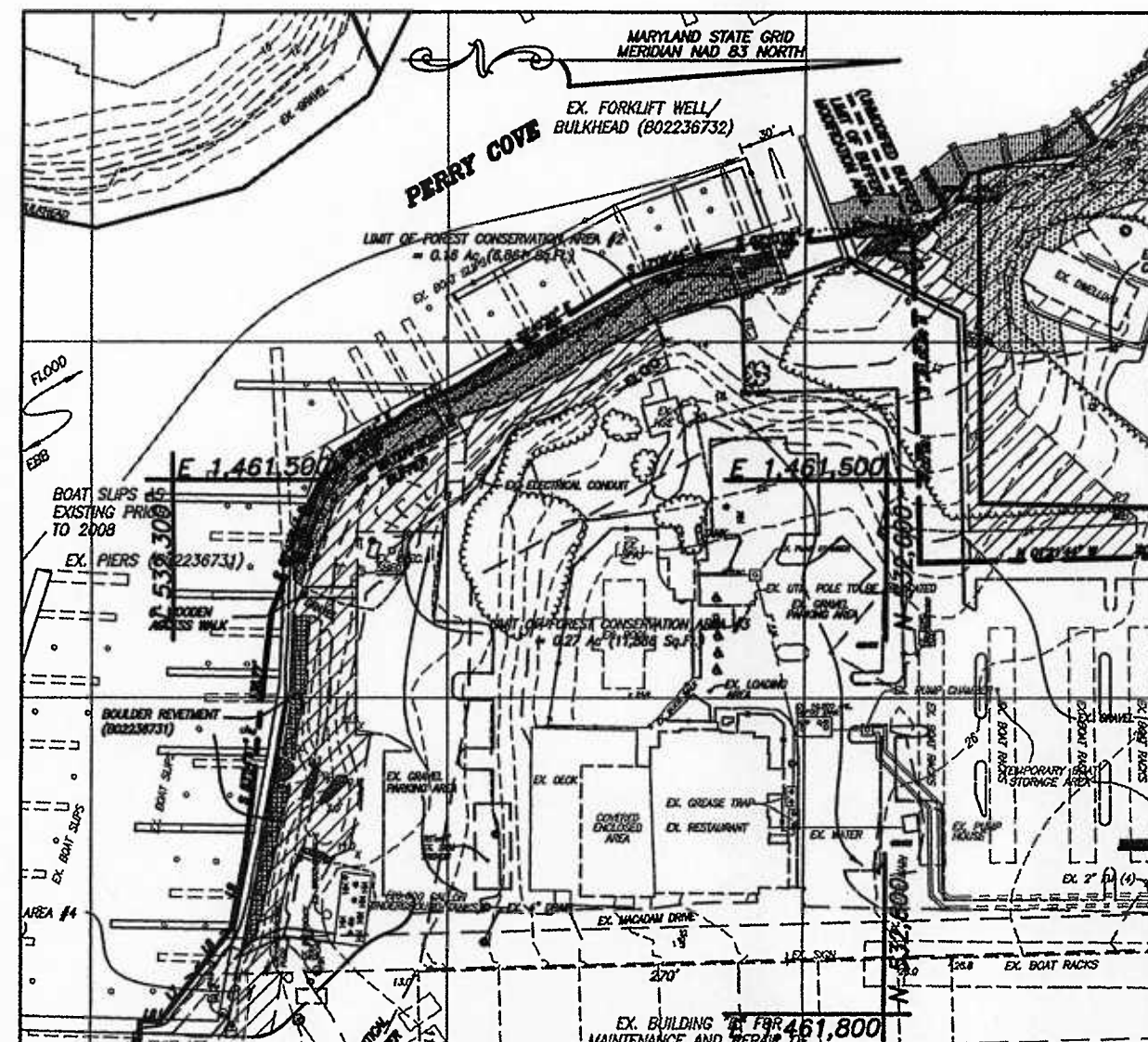
**REDEVELOPMENT OF
PLEASURE COVE MARINA**

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73
ZONED MB/R2

THIRD DISTRICT

ANNE ARUNDEL CO., MD 21122

NOTE: FOR FULL SITE MAP, SEE SHEET 2 OF 5.



BUILDABLE AREA MAP
SCALE: 1"=100'

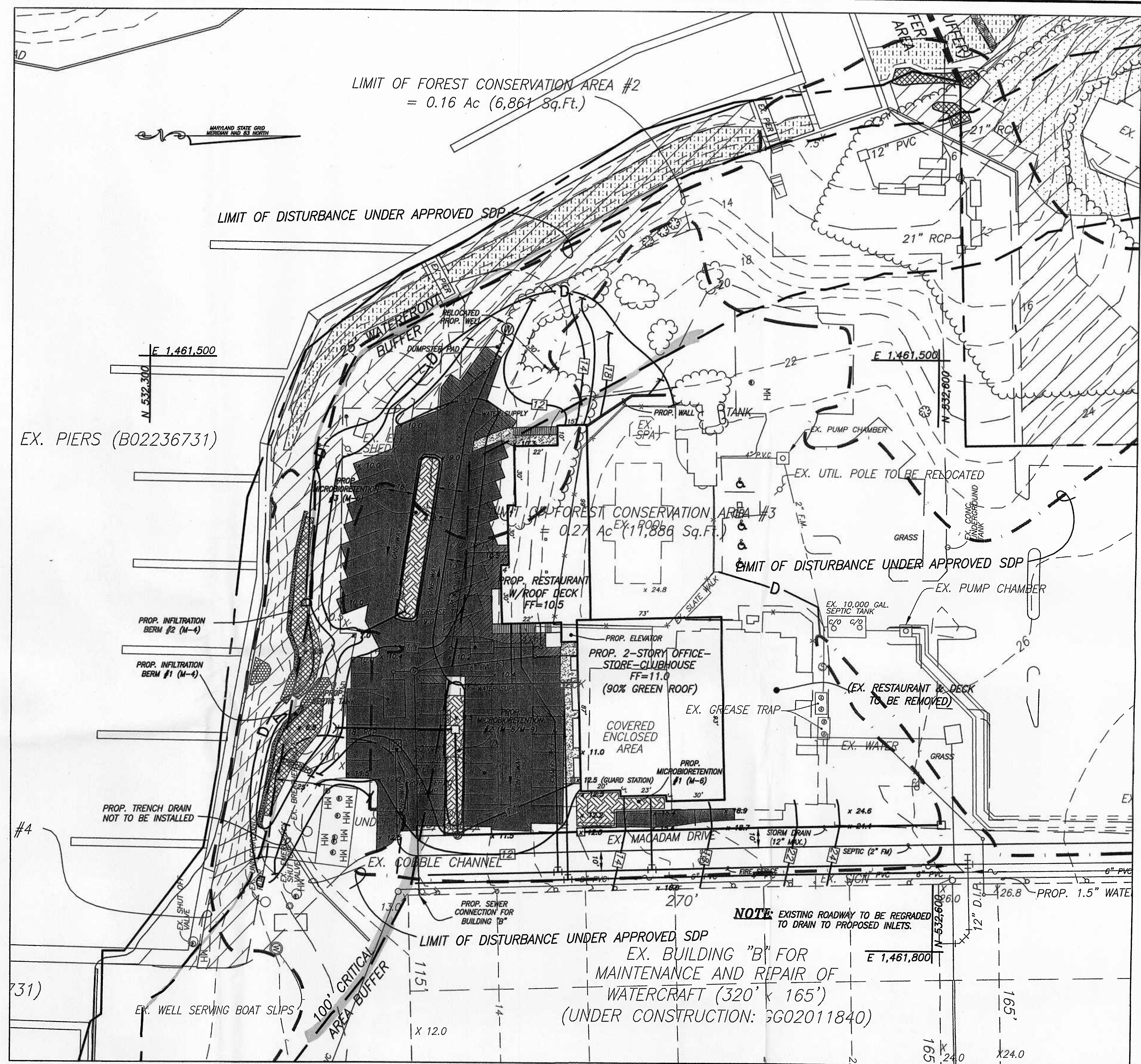
DA	Required	Roof (A-1)	Infiltration Berm (M-4)	M-4 for WQ	Micro-bio-retention (M-6)	Enhanced Filter (M-9)	Total	Total WQ
4	1,744	—	1,248	876	525	—	1,773	1,401
5	2,004	495	—	—	680	840	2,015	2,015
6	1,343	—	—	—	800	656	1,456	1,456
Total	5,091	495	1,248	876	2,005	1,496	5,244	4,872

Note: Total ESD volume is 4,872 cf as WQ and 5,244 cf overall.

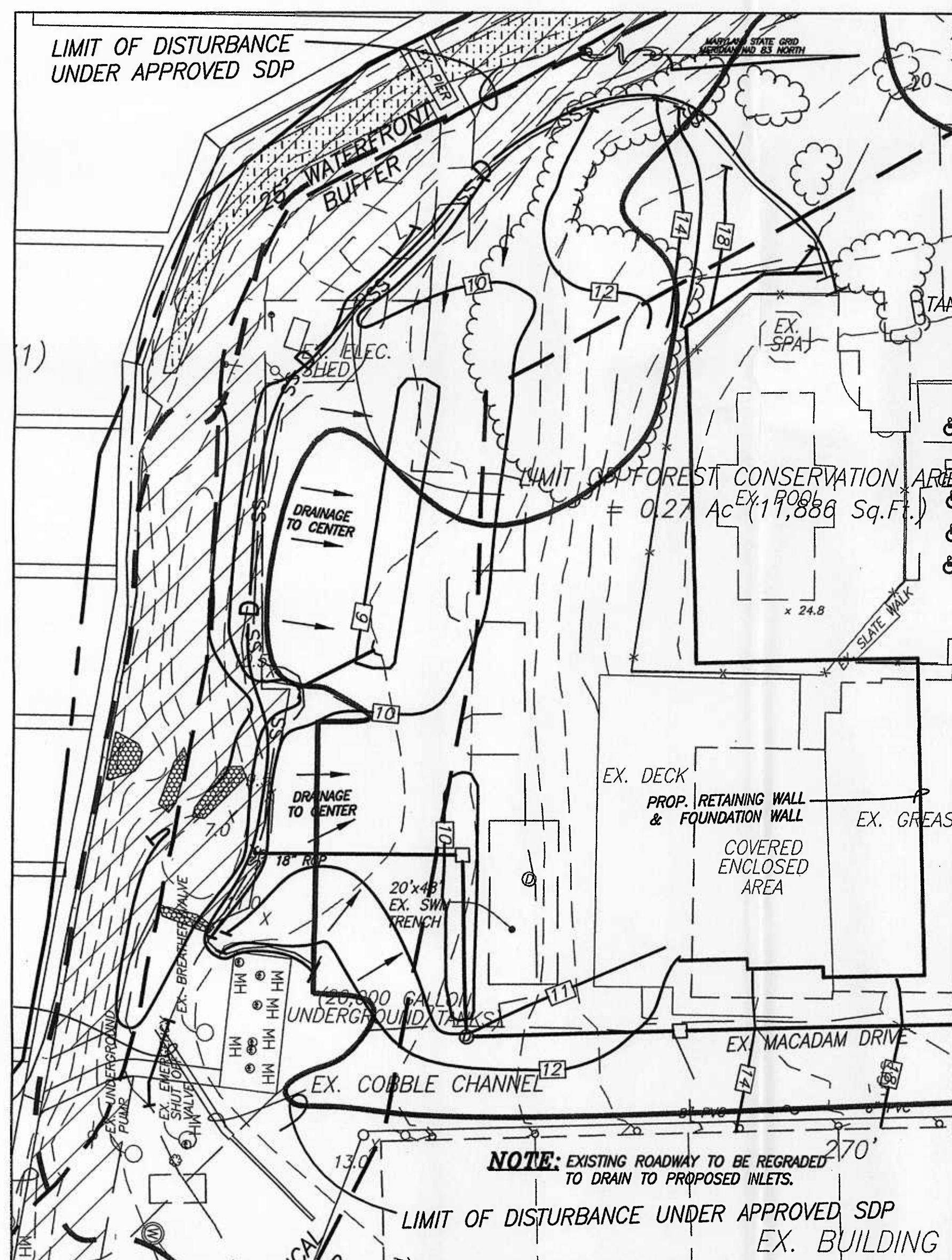
Table 1: Volumes provided, in cubic feet, as ESD treatment.

DA	2c	4	5	6	7	11	12	Outfall #2 (DA 4,5,6)
Ex.	2.60	1.51	5.51	0.91	1.12	3.10	0.48	7.02 (DA 4,5)
Prop.	2.22	2.13	3.86	2.44	2.25	3.25	0.58	8.43
Diff.	(0.38)	0.62	(1.65)	1.53	1.13	0.15	0.10	1.41
Ex. Area	0.61	0.27	0.97	0.16	0.20	0.57	0.08	1.24 (DA 4,5)
Prop. Area	0.52	0.38	0.68	0.43	0.40	0.60	0.10	1.49
Diff.	(0.09)	0.11	(0.29)	0.27	0.20	0.03	0.02	0.25

Table 4: Comparison of existing and proposed discharges.



CONCEPT PLAN
SCALE: 1"=30'



PRELIMINARY SEDIMENT CONTROL PLAN
SCALE: 1"=30'

NOTE: PROPOSED GRADING IN CONSERVATION (REFORESTATION) AREA TO REPLACE APPROVED FINAL GRADING FOLLOWING GRAVEL REMOVAL & CLEAN SOIL PLACEMENT.

OWNER / DEVELOPER

PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, Md 20855
(301) 517-8362

BOYD & DOWGIALLO, P.A.

ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234



SWM CONCEPT PLAN: RESTAURANT & OFFICES

DRAWN BY: JMF
CHECKED BY: DGB
DATE: MARCH, 2010
SCALE: AS SHOWN
SHEET NO. 5 OF 5
G.P. # G02011840
PROJECT: # C2005-068
JOB NO. 446

**REDEVELOPMENT OF
PLEASURE COVE MARINA**

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73
ZONED MB/R2

THIRD DISTRICT

ANNE ARUNDEL CO., MD 21122

JOB#446

AA 0071-06 Pleasure Cove Marina Site Plan
05-0068

323

MSA-S-1829-5391

INFILTRATION TRENCH CONSTRUCTION NOTES (MDE)

An infiltration trench may not receive runoff until the entire contributing drainage area to the infiltration trench has received final stabilization.

- Heavy equipment and traffic shall be restricted from traveling over the proposed location of the infiltration trench to minimize compaction of the soil.
- Planting Soil

2. Excavate the infiltration trench to the design dimensions. Excavated materials shall be placed away from the sides to enhance trench wall stability. Large tree roots must be trimmed flush with the trench sides in order to prevent future puncturing or tearing of the filter fabric during subsequent infiltration operations. The soil within the trench shall be roughened where sheared and seeded by heavy equipment.

3. A Class "C" geotextile or better (see Section 24.0, Material Specifications, 1994 Standards and Specifications for Soil Erosion and Sediment Control, MDE, 1994) shall be installed between the trench walls and between the stone layers and gravel filter layers. A partial list of non-woven filter fabrics that meet the Class "C" criteria follows. Any alternative filter fabric must be approved by the plan approval authority.

Amoco 4552; Carbaugh FX-805; GEOLON N70; Mirafi 180-N; WBEHC 107.

The width of the geotextile must include sufficient material to conform to trench bottom irregularities and for a 6-inch minimum top overlap. The filter fabric shall be tucked under the sand layer on the bottom of the infiltration trench for a distance of 6 to 12 inches. Stones or other anchoring objects should be placed on the fabric at the edge of the trench to keep the trench open during windy periods. When overlying are required between runs, the width shall be a minimum of 2 feet over the downslope in order to provide a shingled effect.

4. A 6 inch sand filter layer shall be placed on the bottom of the infiltration trench and shall be compacted using plate compaction. The sand for the infiltration trench shall be washed and meet ASTM-M-43, Size No. 2 or No. 10. Any alternative sand gradation must be approved by the plan approval authority.

5. The stone aggregate should be placed in a maximum loose lift thickness of 12 inches. The gravel (rounded "bank" gravel) is preferred for the infiltration trench. The stone aggregate shall be placed in three lifts of the most convenient time during construction to ensure fabric conformity to the excavation sides.

6. Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6-inch minimum longitudinal lap. The desired fill soil or stone aggregate shall be placed over the top of infiltration trench to maintain the top during subsequent backfilling.

7. Care shall be exercised to prevent natural or fill soil from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.

8. Voids may occur between the fabric and the excavation sides and shall be avoided. Randomly boulders or other obstacles from the trench is an source of such voids. Therefore, natural soils shall be placed in three lifts of the most convenient time during construction to ensure fabric conformity to the excavation sides.

9. Vertically excavated walls may be difficult to maintain in areas where soil moisture is high or where soft cohesive or collapsible soils are dominant. These conditions may require lagging back of the side slopes to maintain stability.

10. PVC distributor pipes shall be Schedule 40 and meet ASTM-A-1784. All fitting shall meet ASTM-D-2729. Perforations shall be 3/8 inch in diameter. A perforated pipe shall be provided only within the infiltration trench and shall terminate 1 foot short of the wall thickness classification of 500-535 meeting ASTM-D-3334 in an acceptable substitute for the Schedule 40 pipe.

11. The observation well is to consist of 6-inch diameter perforated PVC Schedule 40 (4" or 2" or 1" type PS 28) with a cap set 12 inches above ground level and 40 feet to be located near the longitudinal center of the infiltration trench. The pipe shall have a plastic collar with ribs to prevent rotation from removing the cap. The screw top lid shall be a clean wood with a locking mechanism or special bolt to discourage vandalism. The depth to the first invert shall be marked on the lid. The pipe shall be placed vertically within the gravel portion of the infiltration trench and cap provided at the bottom of the pipe. The bottom of the cap shall rest on the infiltration trench bottom.

12. Corrugated metal distribution pipes shall conform to ASTM-M-36, and shall be installed in accordance with ASTM-D-274. Aluminum pipe in contact with concrete shall be coated with an inert compound capable of preventing the galvanic effect of the aluminum on the concrete. Perforated distribution pipes shall conform to ASTM-M-36, Class 2, and shall be provided only within the infiltration trench and terminate 1 foot short of the infiltration trench wall. An aluminum metal plate shall be welded to the end of the pipe.

13. If a distribution structure with a well is used, a 4-inch drain pipe shall be provided at opposite ends of the infiltration trench structure. Two (2) cubic feet of porous backfill meeting ASTM-M-43, Size No. 57 shall be provided at each end.

14. If a distribution structure is used, the manhole cover shall be bolted to the frame.

From Appendix B.2.A of the 2000 Maryland Department of the Environment Model Stormwater Management Ordinance.

INFILTRATION TRENCH CONSTRUCTION NOTES AND SPECIFICATIONS (A.A.CO.)

- The infiltration facility will not be used as a sediment control feature at any time during construction.

2. The infiltration facility will not be traversed by construction vehicles at any time during the excavation of the trench immediately above the facility.

3. No infiltration device will receive any runoff until the entire contributing drainage area to the infiltration system has received final stabilization and is accepted by the County.

4. Infiltration devices located within any existing low or structure shall be protected for possible adverse effects to the existing low or structure.

5. A minimum distance of four feet shall be maintained between the bottom of any infiltration device and the seasonal high water table (as measured in the test boring hole a minimum of 24 hours after drilling), bedrock, or impermeable soil.

6. Infiltration devices shall not be placed in fill.

7. Vegetative buffers or other approved runoff filtering or sediment-trapping devices should be provided for infiltration practices. The filtering strip should be a minimum of 25 feet wide around the infiltration system with sheet flow only over the strip. Water-quality inlets, grass filter strips, or sediment traps shall be required for underdrain filter storage.

8. An observation well shall be installed in every infiltration trench and dewatering. The observation well shall consist of a perforated PVC 4" or 2" pipe with a minimum 3,000 lb crush strength, 4 to 6 inches in diameter. It shall be located in the center of the structure. A footcandle shall be provided under the observation well (open).

9. Observation wells constructed for residential lots shall project 4 to 6 inches above grade and be constructed in such a way that they will not be damaged by rain mowing. The top of the observation well shall be capped with a threaded PVC cap. When observation wells are constructed in driveways, parking lots, etc., Anne Arundel County Standard Detail S-10 must be used. Geoprod shall be installed in the bottom of trenches located within paved areas.

10. Infiltration trench shall be located a minimum of 12 inches below finished grade.

11. Permeable filter cloth shall be placed on the sides and top of the trench.

12. Infiltration trenches shall be backfilled with washed No. 2 stone, gravel, or steel slag.

13. The setbacks for trenches are as follows:

A. The setback from structures on sides is 10 feet.

B. Infiltration devices uphill from buildings and structures with basements shall be located a minimum of 25 feet from the structure.

C. Infiltration devices downhill from buildings and structures with basements shall be located at least 10 feet from the structure foundation or the intersection of the foundation footing with the phreatic line from the overfill depth of the device, whichever is greater.

D. No infiltration devices shall be located within 100 feet of any water supply well for commercial and industrial development.

E. No infiltration devices shall be located within 50 feet of any water supply well for residential development.

F. All infiltration devices shall be located a minimum of 25 feet horizontally from the 100 year floodplain.

G. Infiltration systems shall be located a minimum of 25 feet or in accordance with the latest Health Department criteria, whichever is greater from a septic system and alternate septic systems. The closest well shall be maintained at least 100 feet from the septic system area.

H. All infiltration devices shall be located a minimum of 25 feet from the top of slopes 25% or greater and retaining walls. In no case shall the phreatic line from the overfill depth of the device intersect existing and/or final ground line of the slope or the retaining wall.

I. Infiltration devices, including individual lot devices, shall be located a minimum of 10 feet horizontally from any public sanitary sewer or house connection.

J. Where 7" or larger sewer service lines are not used for sanitary sewer or house connections, infiltration devices shall be located a minimum of 50 feet horizontally from any sanitary sewer or house connection.

SWM FILTER MAINTENANCE & INSPECTION NOTES

- Filtering systems must be inspected regularly. When ponding is evident on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be removed and replaced with fresh material and disposed of properly.

2. Sediment removal shall be performed when sediment accumulates a depth that exceeds one inch in bioretention areas and six inches in sediment basins.

3. Filters with a grass cover shall be mowed a minimum of three times per growing season to maintain grass heights that do not exceed 12 inches.

4. Dead or diseased plant material shall be replaced with a minimum of three times per growing season on an annual basis.

5. Direct maintenance access to the pre-treatment area and filter bed shall be maintained.

6. Vigorous and dense growth should be maintained. Any bare spots, burned out areas, or eroded areas must be reseeded or replaced with native species and/or fertilization should be provided during the first few months after site is established and may periodically be needed during periods of drought.

NOTE: Item 3 and fertilization note in Item 6 do not apply to bioretention or rain gardens.

BIORETENTION SPECIFICATIONS

From the 2000 Maryland Stormwater Design Manual, Vol. II, pages B.3.4 to B.3.6.

1. Material Specifications

The allowable materials to be used in bioretention areas are detailed in Table B.3.2.

2. Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots, or other similar objects larger than two inches. No other materials or substances that are harmful to plant growth or prove a threat to the health of the soil shall be used. The soil shall be amended with a minimum of 10% bioretention area. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.06.01.01.

The planting soil shall be tested and shall meet the following criteria:

pH range: 5.2 to 7.0
organic matter: 1.5% to 4.0% (by weight)
nitrogen: 35 lbs/acre
phosphorus: 75 lbs/acre (phosphate, P2O5)
potassium: 65 lbs/acre (potash, K2O)
soluble salts: not to exceed 500 ppm

All bioretention areas shall have a minimum of one test. Each test shall consist of both the standard and test for pH, phosphorus, and potassium. A textural analysis is required from the site. A textural analysis is required for each location where the topsoil was excavated. When the pH level falls outside their testing equipment differently, all testing results shall come from the same testing facility.

Since the pH fall out of the acceptable range, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

3. Construction

It is very important to minimize compaction of both the soil of the bioretention area and the required backfill. When possible, use excavation holes to remove the soil. If bioretention areas are excavated using a loader, the contractor should use side track or normal track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause excessive compaction resulting in reduced infiltration rates, and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chain plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch construction zone. Subsoiling methods must be approved by the engineer. Fractures typically do not go deep enough to remove the effects of compaction from heavy equipment.

Retain 2 to 3 inches of sand into the base of the bioretention facility before backfilling the required sand layer. Pump any ponded water before backfilling (retaining) base.

When backfilling the bioretention facility, place soil in lifts 4" to 16". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to backfill the soil. The soil shall be amended with a minimum of 10% bioretention area. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

11. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

12. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

13. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

14. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

15. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

16. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

17. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

18. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

19. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

20. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

21. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

22. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

23. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

24. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

25. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

26. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

27. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

28. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

29. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

30. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

31. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

32. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

33. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

34. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

35. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

36. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

37. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

38. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

39. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

40. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

41. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

42. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

43. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

44. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

TOPSOIL SPECIFICATIONS

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Consent: Where Practice Applies:

1. This practice is limited to areas having 2:1 or flatter slopes where:

a. the texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

b. the soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. the original soil to be vegetated contains material toxic to plant growth.

d. the soil is so acidic that treatment with limestone is not feasible.

2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications:

1. Topsoil salvaged from the existing site may be used provided that it meets the criteria set forth in these specifications. Topsoil shall be tested and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textures, subsoils, and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, or other materials larger than 1 1/2" in diameter.

2. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

3. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

4. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

5. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

6. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

7. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

8. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

9. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

10. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

11. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

12. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

13. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

14. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

15. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

16. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

17. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

18. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

19. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

20. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

21. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

22. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

23. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

24. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

25. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

26. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

27. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

28. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

29. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

30. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

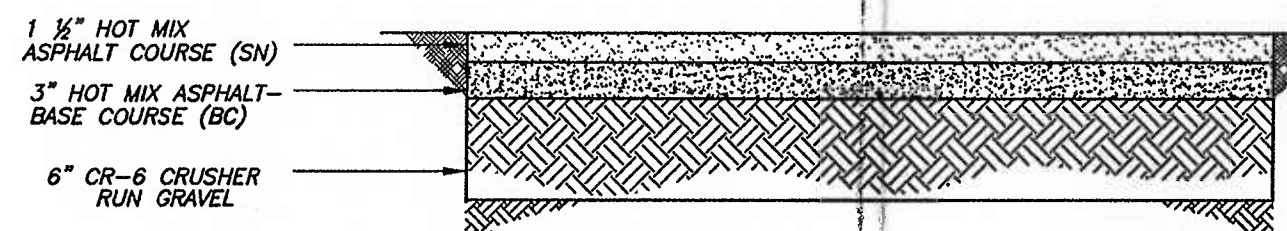
31. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

32. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

33. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

34. Soil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

35. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the

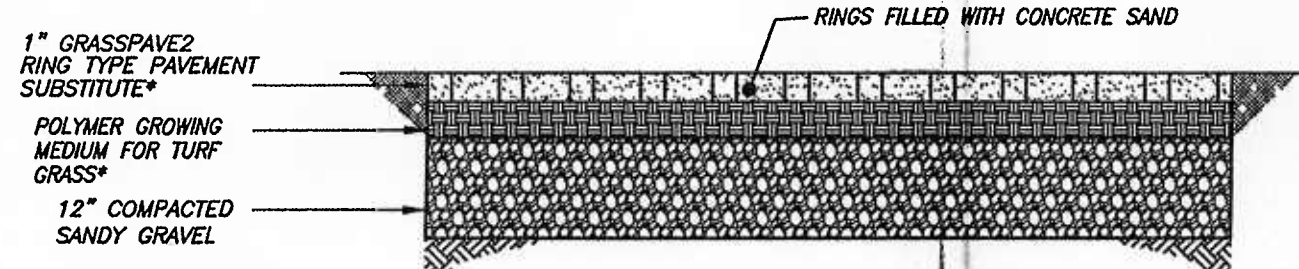


NOTE: UPON ESTABLISHMENT OF PAVEMENT AREA TO SUBGRADE, THE SUBGRADE SHALL BE TESTED TO DETERMINE THE ADEQUACY OF THE RECOMMENDED SECTION, AND THE RECOMMENDED SECTION MODIFIED IF REQUIRED. CHANGES TO THE RECOMMENDED SECTION SHALL BE MADE BY A REGISTERED GEOTECHNICAL ENGINEER.

RECOMMENDED ON-SITE PAVING SECTION*

NOT TO SCALE

* FULL-DEPTH PAVEMENT



NOTE: UPON ESTABLISHMENT OF PAVEMENT AREA TO SUBGRADE, THE SUBGRADE SHALL BE TESTED TO DETERMINE THE ADEQUACY OF THE RECOMMENDED SECTION, AND THE RECOMMENDED SECTION MODIFIED IF REQUIRED. CHANGES TO THE RECOMMENDED SECTION SHALL BE MADE BY A REGISTERED GEOTECHNICAL ENGINEER.

* BY INVISIBLE STRUCTURES, INC. OR EQUAL, SPECIES AND ANY INSTALLATION METHOD OTHER THAN HYDROSEEDING TO BE AS DIRECTED BY A REGISTERED LANDSCAPE ARCHITECT.

RECOMMENDED FIRE LANE SECTION

NOT TO SCALE

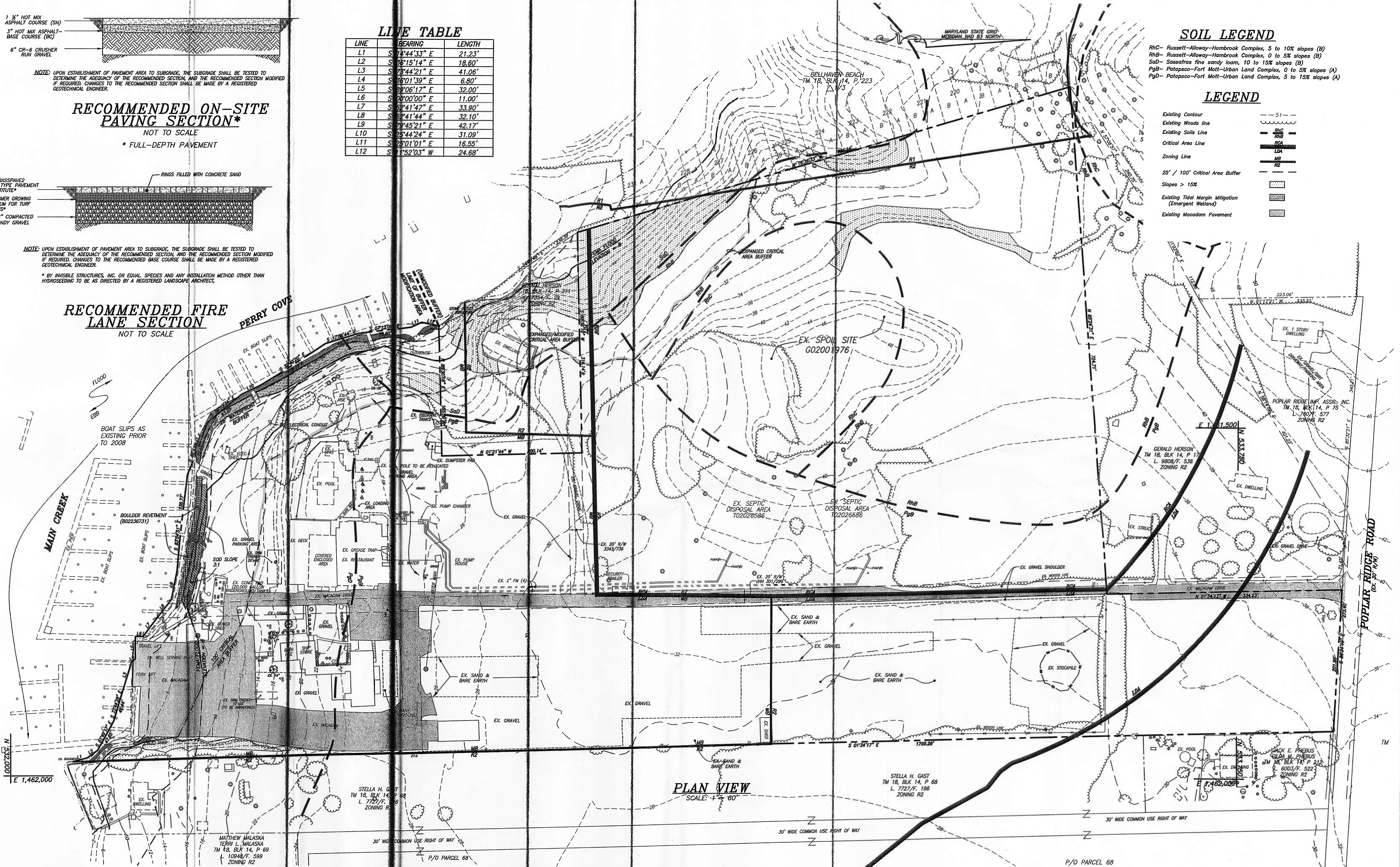
LINE	BEARING	LENGTH
L1	S 14°44'33" E	21.23'
L2	S 6°15'14" E	18.80'
L3	S 73°44'21" E	41.06'
L4	S 36°01'39" E	6.80'
L5	S 39°06'17" E	32.00'
L6	S 00°00'00" E	11.00'
L7	S 27°41'47" E	33.90'
L8	S 27°41'44" E	32.10'
L9	S 73°45'21" E	42.17'
L10	S 25°44'24" E	31.09'
L11	S 25°01'01" E	16.55'
L12	S 11°52'03" W	24.68'

SOIL LEGEND

RhC- Russett-Allaway-Hambrick Complex, 5 to 10% slopes (B)
 RhB- Russett-Allaway-Hambrick Complex, 0 to 5% slopes (B)
 SaD- Sassafras fine sandy loam, 10 to 15% slopes (B)
 PgB- Patapasco-Fort Mott-Urban Land Complex, 0 to 5% slopes (A)
 PgD- Patapasco-Fort Mott-Urban Land Complex, 5 to 15% slopes (A)

LEGEND

Existing Contour — 51 —
 Existing Woods Line — RWC —
 Existing Soils Line — RSB —
 Critical Area Line — RCA —
 Zoning Line — LDA —
 25' / 100' Critical Area Buffer — MB —
 Slopes > 15% — R2 —
 Existing Tidal Margin Mitigation (Emergent Wetland) —
 Existing Macadam Pavement —



PLAN VIEW

SCALE: 1" = 60'

OWNER / DEVELOPER

PLEASURE COVE MARINA LLC
 15525 Frederick Road
 Rockville, Md 20855
 (301) 517-8362

BOYD & DOWGIALLO, P.A.

ENGINEERS/SURVEYORS/PLANNERS
 7678 Quarterfield Road
 Suite 201
 Glen Burnie, Maryland 21061
 (410) 863-1234



GSC PLANS: BUILDINGS A/B: EXISTING CONDITIONS / ECP PLAN

DRAWN BY: LAK
 CHECKED BY: DGB
 DATE: JUNE, 2008
 SCALE: AS SHOWN
 SHEET NO. 3 OF 19
 G.P. # G02011840
 PROJECT: # C2005-068
 JOB NO. 446

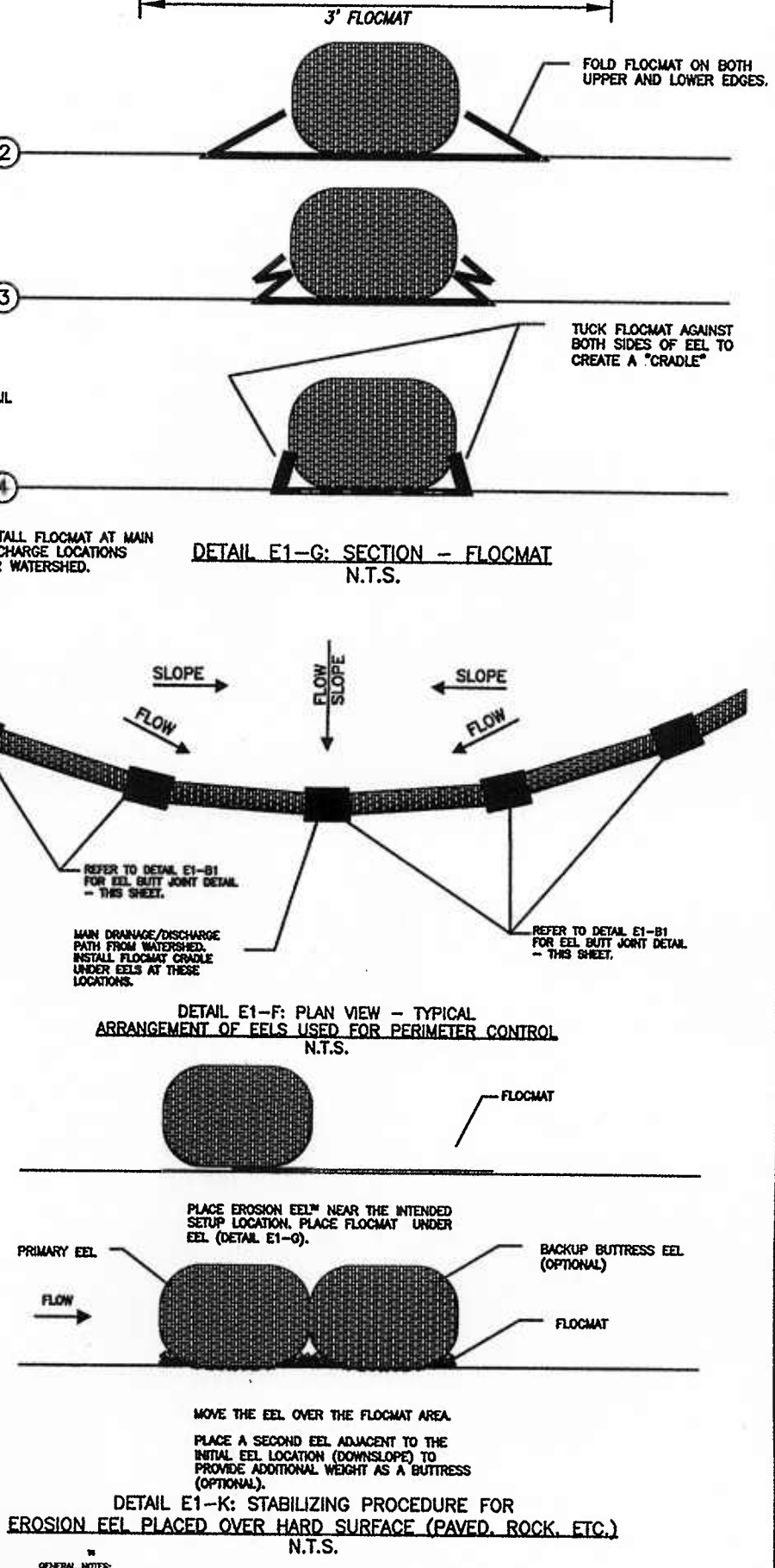
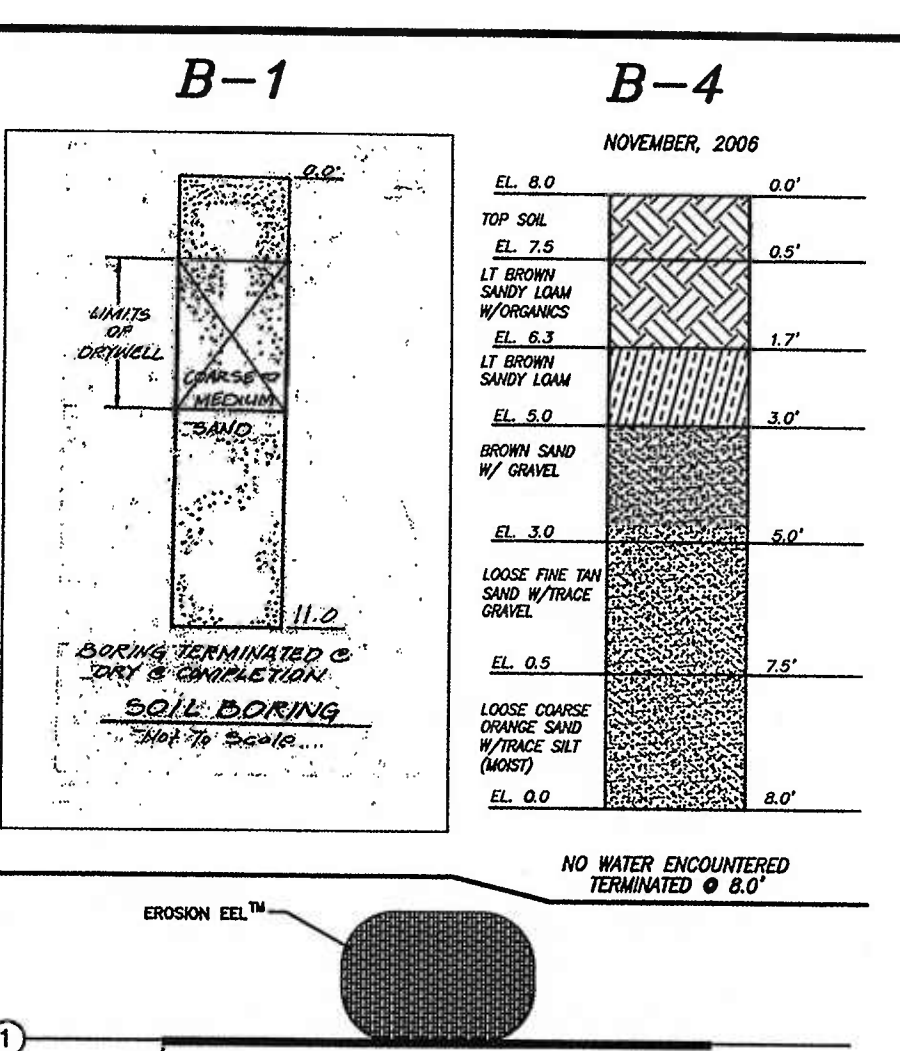
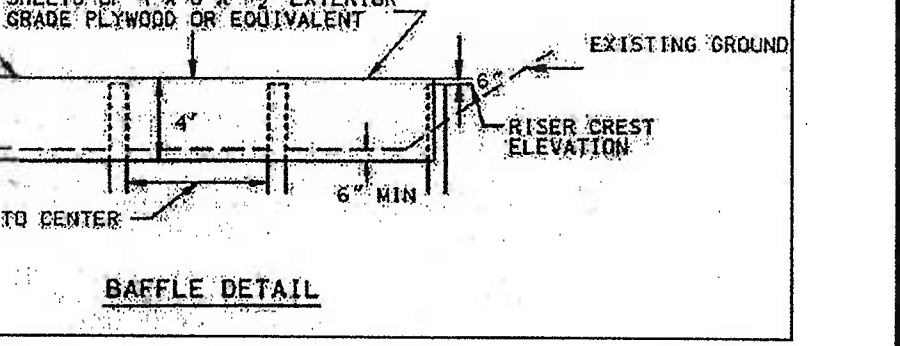
REDEVELOPMENT OF PLEASURE COVE MARINA

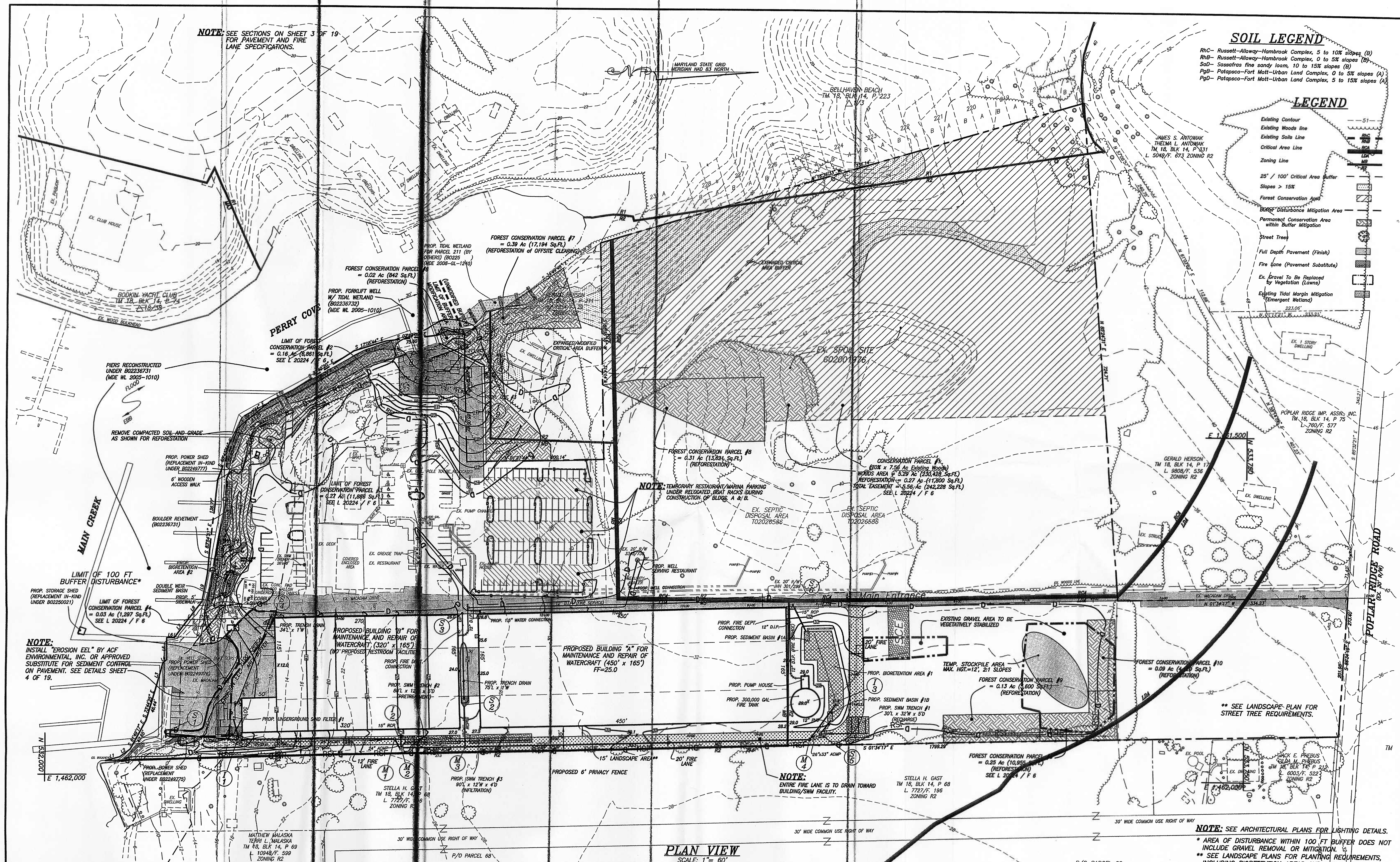
1701 POPLAR RIDGE ROAD
 TAX MAP 18, BLOCK 14, PARCEL 73

THIRD DISTRICT

ANNE ARUNDEL CO., MD 21122

JOB#446

[illegible]



SOIL LEGEND

RhC- Russett-Allaway-Hambrick Complex, 5 to 10% slopes (B)
RhB- Russett-Allaway-Hambrick Complex, 0 to 5% slopes (B)
SoD- Sassafras fine sandy loam, 10 to 15% slopes (B)
PgB- Patapsco-Fort Mott-Urban Land Complex, 0 to 5% slopes (A)
PgD- Patapsco-Fort Mott-Urban Land Complex, 5 to 15% slopes (A)

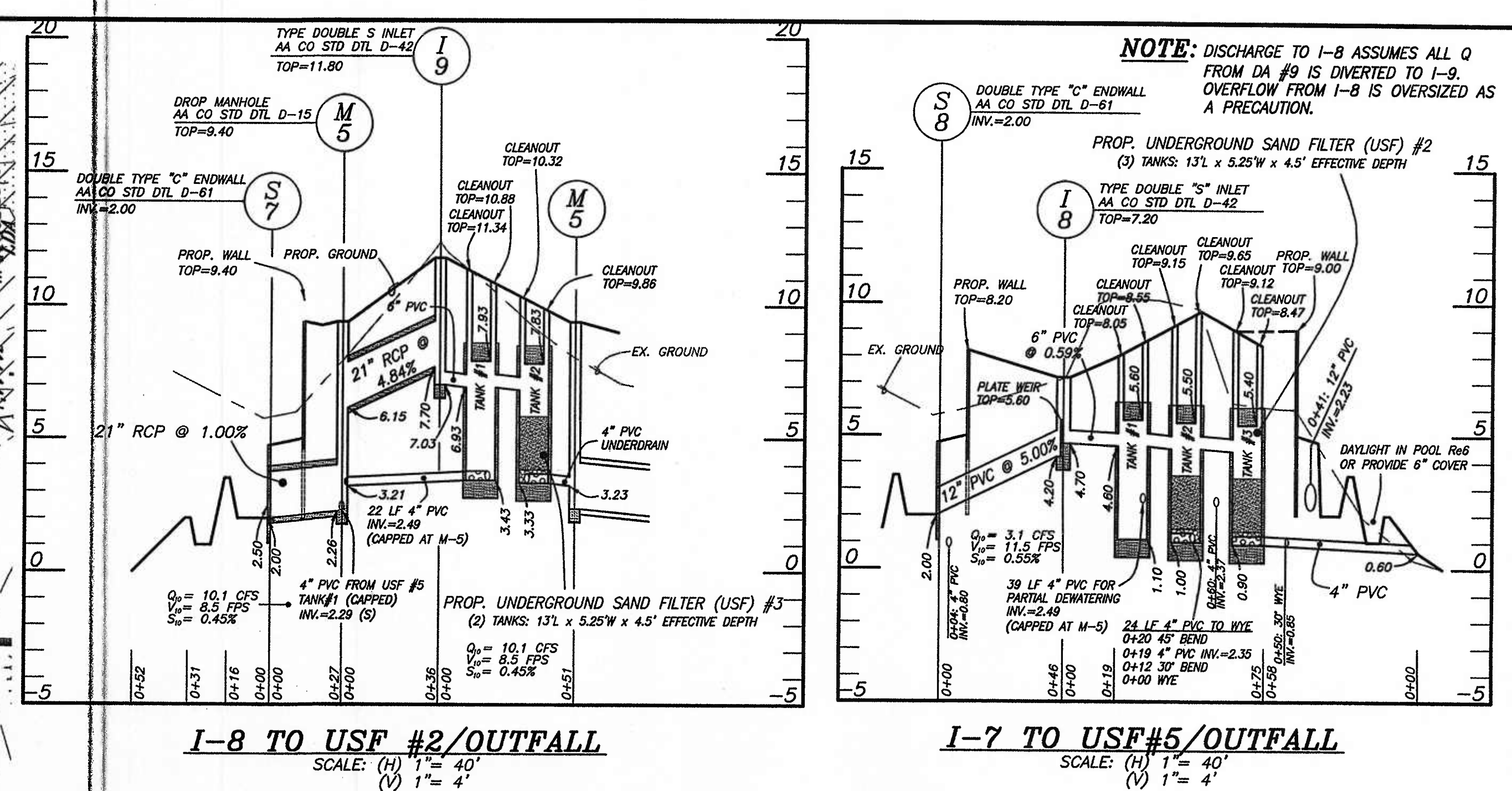
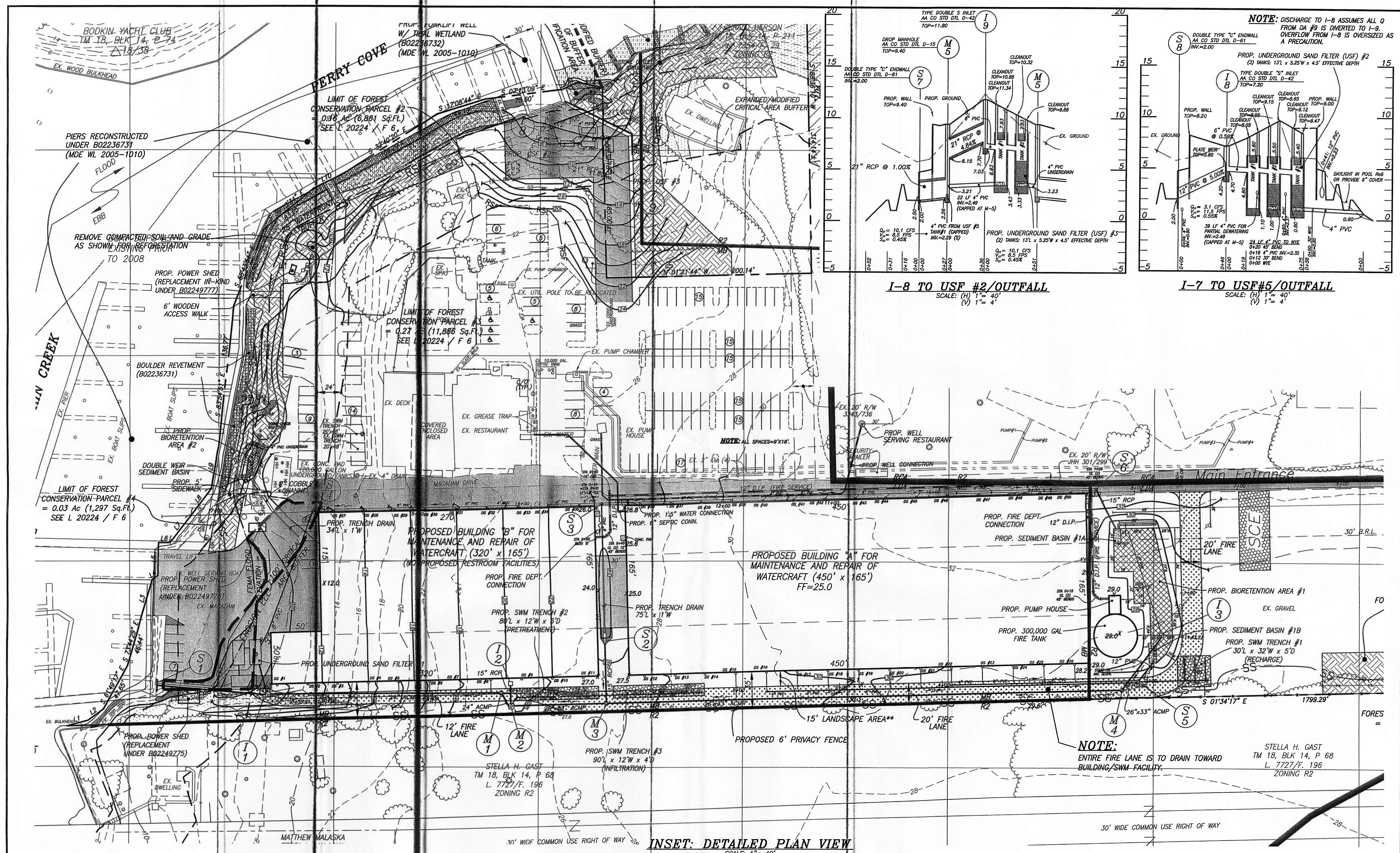
LEGEND

Existing Contour
Existing Woods line
Existing Soils Line
Critical Area Line
Zoning Line
25' / 100' Critical Area Buffer
Slopes > 15%
Forest Conservation Area
BMP Disturbance Mitigation Area
Permanent Conservation Area within Buffer Mitigation
Street Trees
Full Depth Pavement (Finish)
Fire Lane (Pavement Substitute)
Ex. Gravel To Be Replaced by Vegetation (Lawns)
Existing Tidal Margin Mitigation (Emergent Wetland)
223.00'

PLAN VIEW
SCALE: 1" = 60'

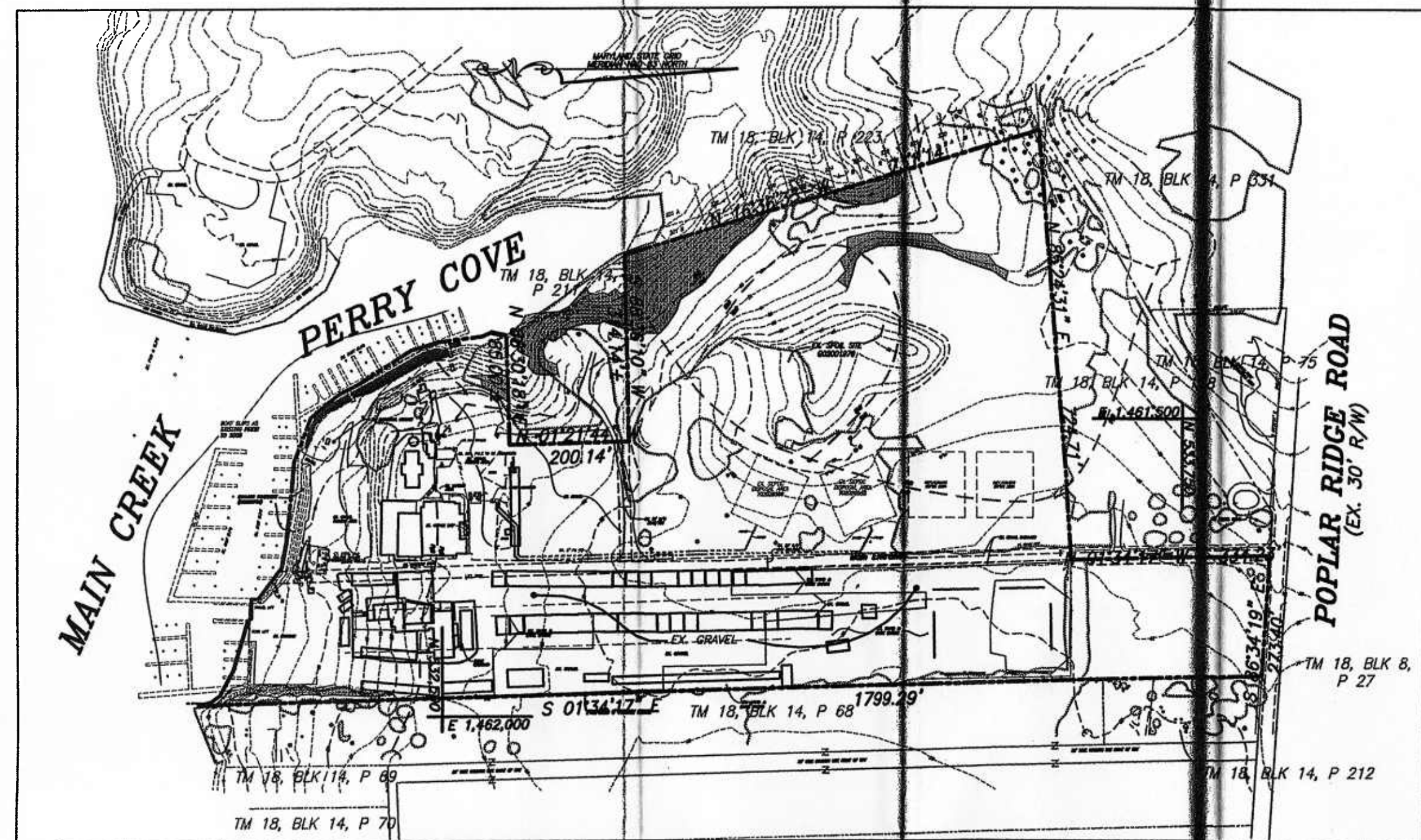
NOTE: SEE ARCHITECTURAL PLANS FOR LIGHTING DETAILS.
* AREA OF DISTURBANCE WITHIN 100 FT BUFFER DOES NOT INCLUDE GRAVEL REMOVAL OR MITIGATION.
** SEE LANDSCAPE PLANS FOR PLANTING REQUIREMENTS, INCLUDING BIORETENTION AREAS AND BUFFER MITIGATION.

OWNER / DEVELOPER PLEASURE COVE MARINA LLC 15525 Frederick Road Rockville, Md 20855 (301) 517-8362		BOYD & DOWGIALLO, P.A. ENGINEERS/SURVEYORS/PLANNERS 7678 Quarterfield Road Suite 201 Glen Burnie, Maryland 21061 (410) 863-1234		GSC PLANS: BUILDINGS A/B: OVERALL SITE PLAN DRAWN BY: JMF CHECKED BY: DGB DATE: JUNE, 2009 PROJECT: # C2005-068 JOB NO. 446		REDEVELOPMENT OF PLEASURE COVE MARINA 1701 POPLAR RIDGE ROAD TAX MAP 18, BLOCK 14, PARCEL 73 ANNE ARUNDEL CO., MD 21122	
APPROVED		APPROVED		APPROVED		APPROVED	

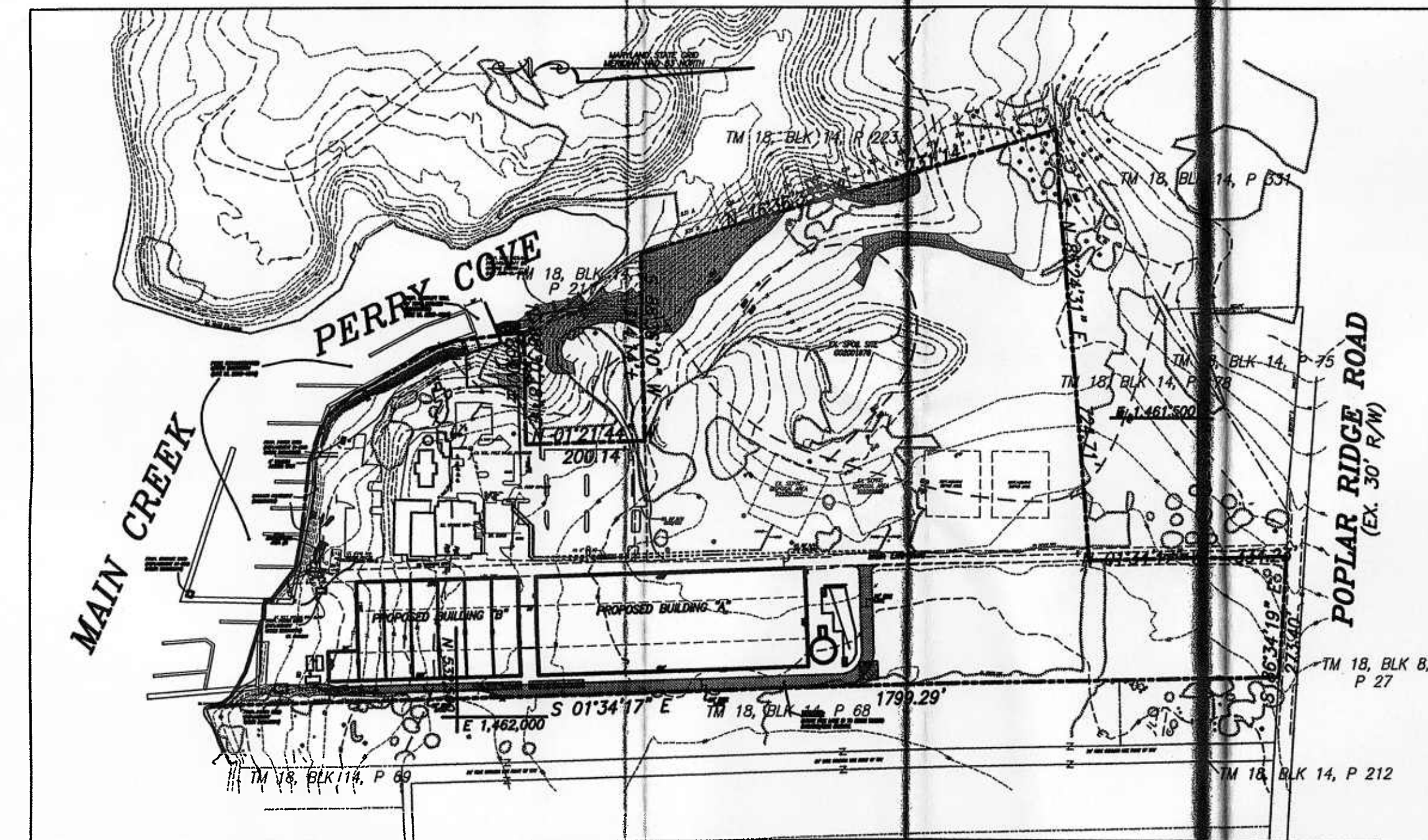


INSET: DETAILED PLAN VIEW
SCALE: 1" = 40'

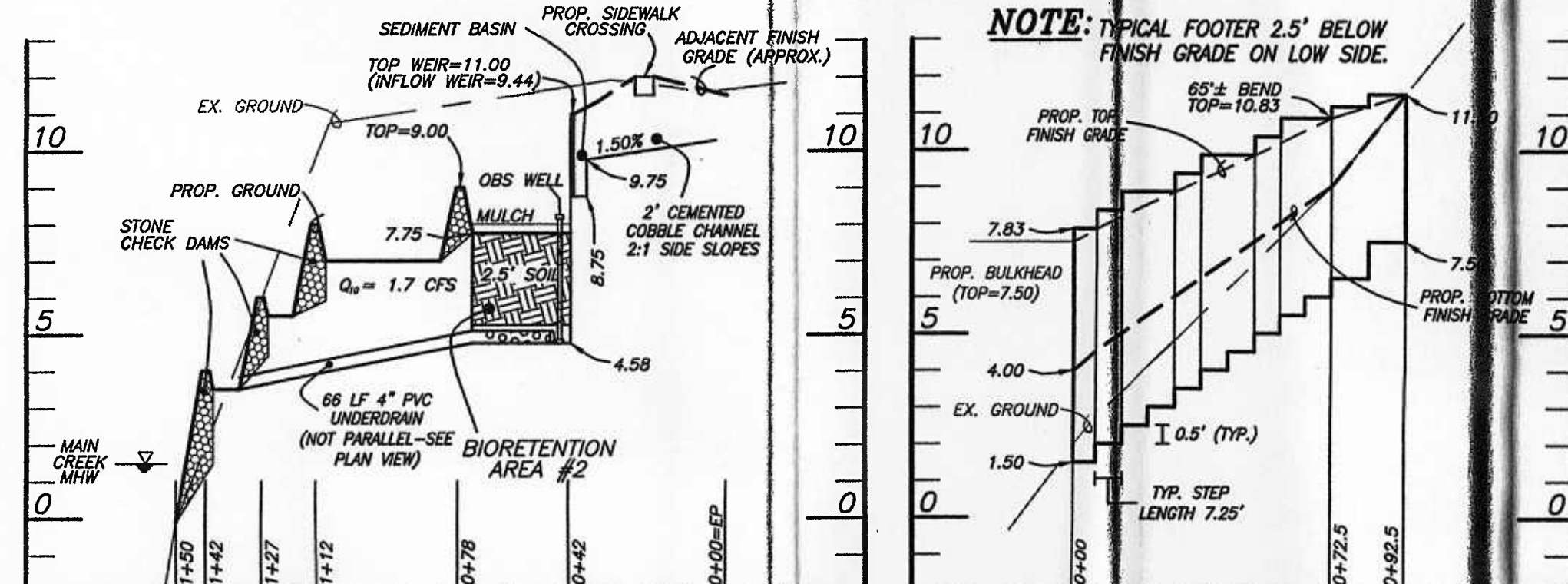
OWNER / DEVELOPER PLEASURE COVE MARINA LLC 15525 Frederick Road Rockville, Md 20855 (301) 517-8362		BOYD & DOWGIALLO, P.A. ENGINEERS/SURVEYORS/PLANNERS 7678 Quarterfield Road Suite 201 Glen Burnie, Maryland 21061 (410) 863-1234		GSC PLANS: BUILDINGS A/B: INSET VIEW REDEVELOPMENT OF PLEASURE COVE MARINA 1701 POPLAR RIDGE ROAD TAX MAP 18, BLOCK 14, PARCEL 73 ANNE ARUNDEL CO., MD 21122	
DRAWN BY: JMF CHECKED BY: DGB DATE: JUNE, 2009		SCALE: 1" = 40' SHEET NO. 6 OF 19 G.P. # G02011840 PROJECT. # C2005-068 JOB NO. 446		THIRD DISTRICT	



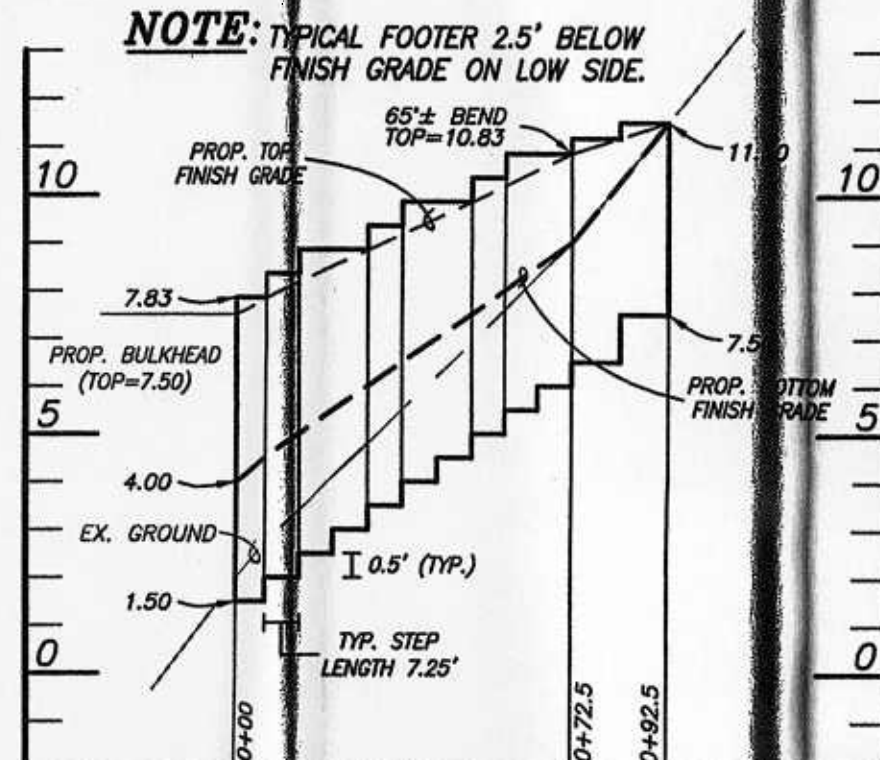
PRE-REDEVELOPMENT DRAINAGE AREA MAP
SCALE: 1"=200'



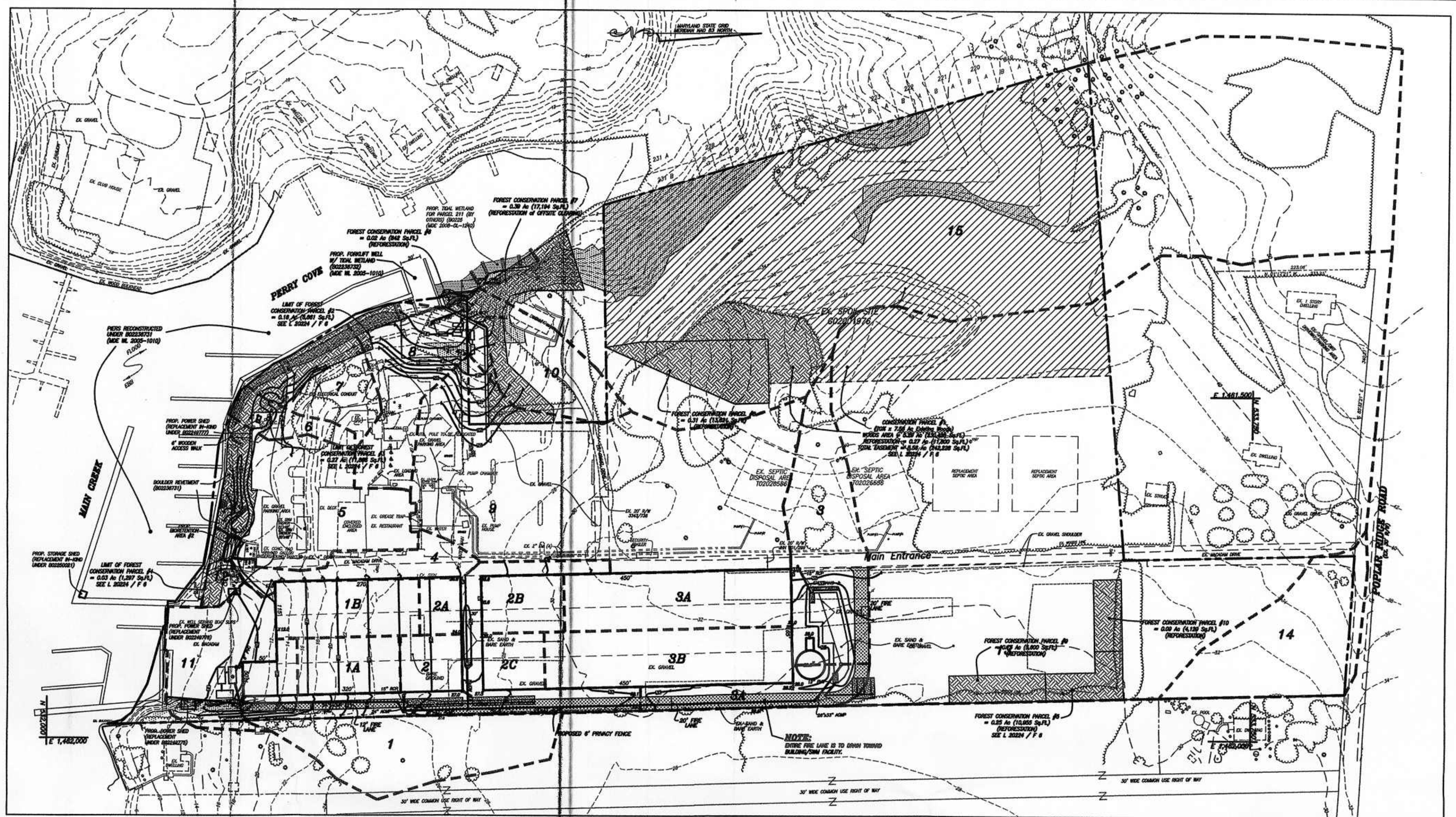
POST-REDEVELOPMENT DRAINAGE AREA MAP
SCALE: 1"=200'



BIORETENTION AREA #2 & DRAINAGE THROUGH MITIGATION
SCALE: (H) 1"=40'
(V) 1"=4'



PROPOSED WALL
SCALE: (H) 1"=40'
(V) 1"=4'



STORM DRAIN AREA MAP
SCALE: 1"=100'

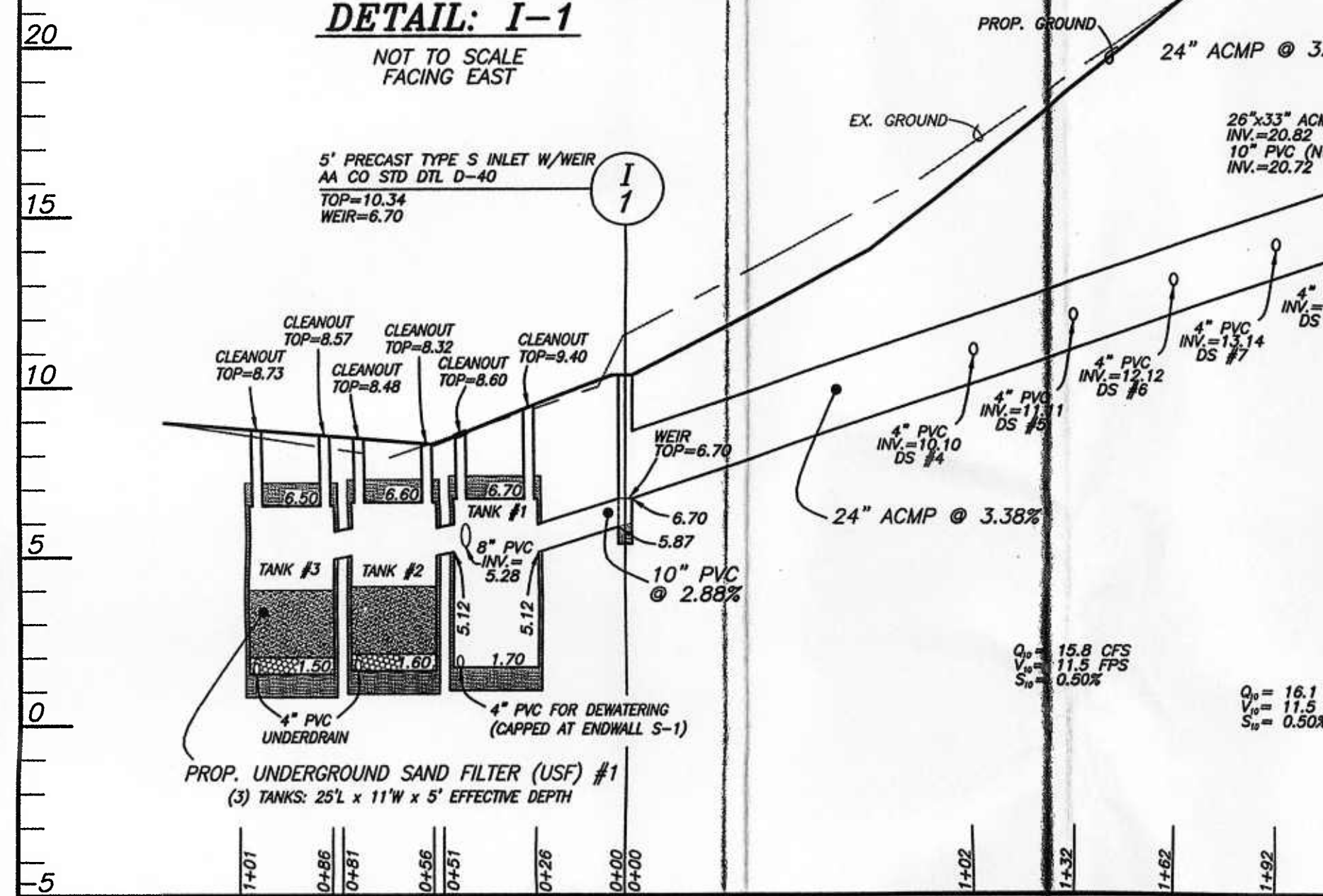
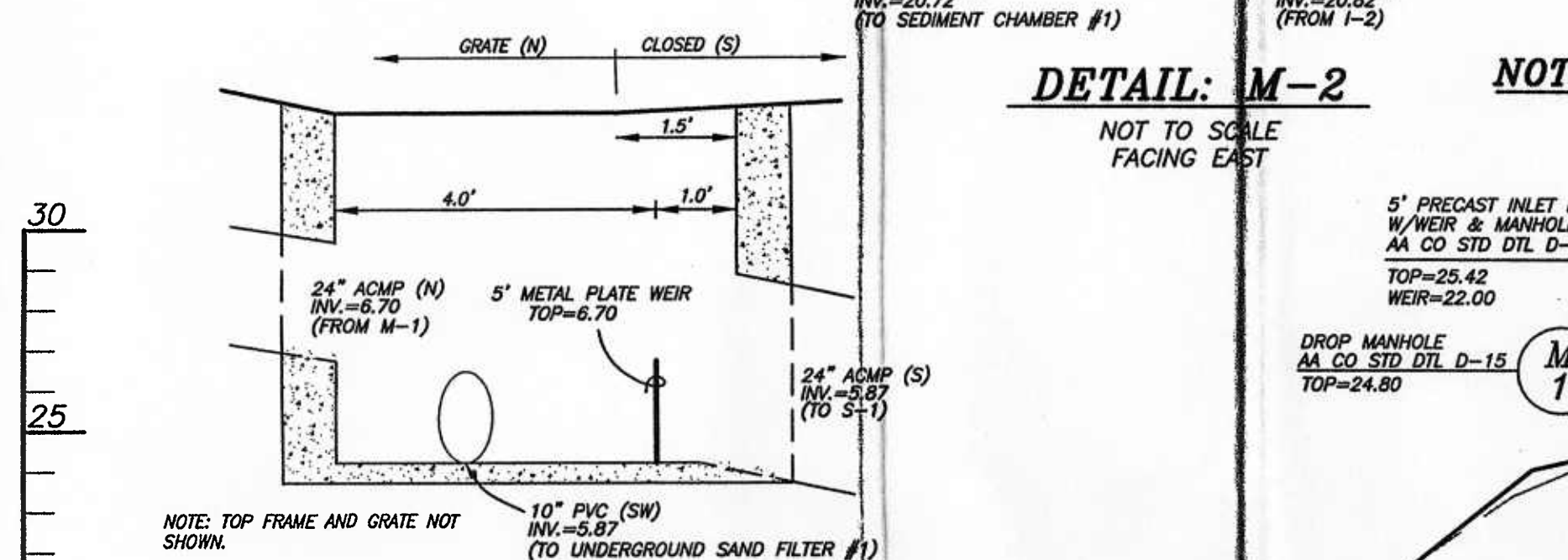
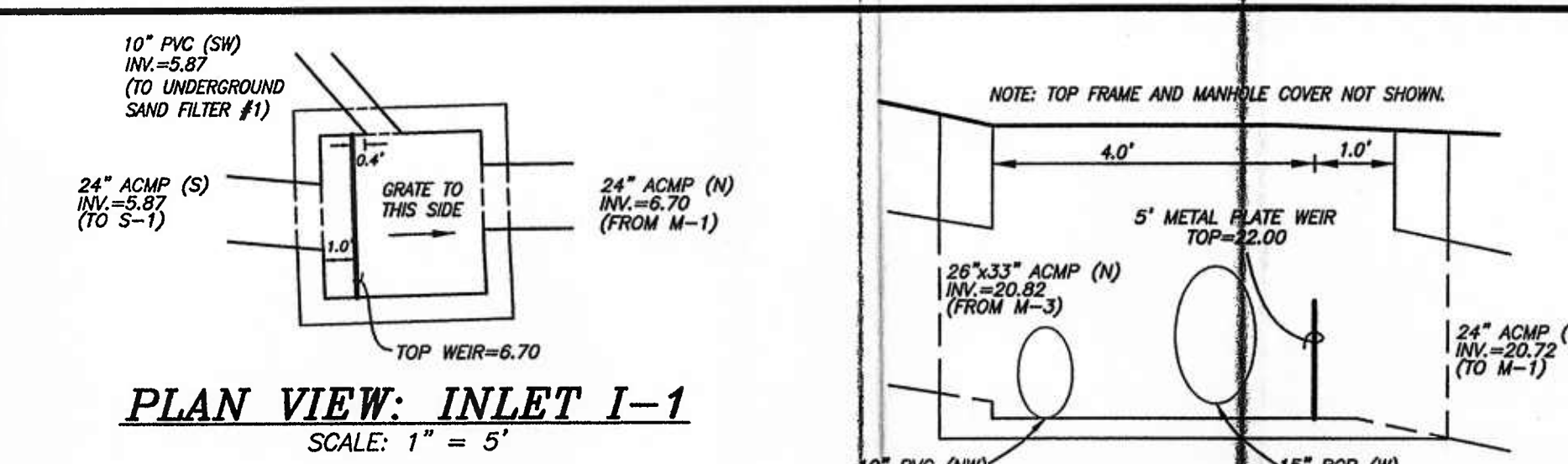
OUTFALL STATEMENT

Under the existing condition runoff from this property discharges directly into tidal waters. Runoff from the proposed redevelopment will continue to discharge directly into tidal waters. The volume of runoff should be reduced due to the creation of new pervious area.

SWM NOTE

- The water quality (WQ) requirement for the proposed development will be required in the amount of 15,173 cu ft. and has been provided in infiltration trenches and in bioretention areas.
- The recharge volume (R_{ch}) for the proposed development will be required in the amount of 5,860 cu ft. and has been provided via infiltration practices.
- Channel protection volume (C_{p}) is not required for this development since the site has a direct tidal discharge.
- Flood protection volume (F_{p}) is not required because the site has a direct tidal discharge.
- Extreme flood protection (Q_1) is not required since the site has a direct tidal discharge.

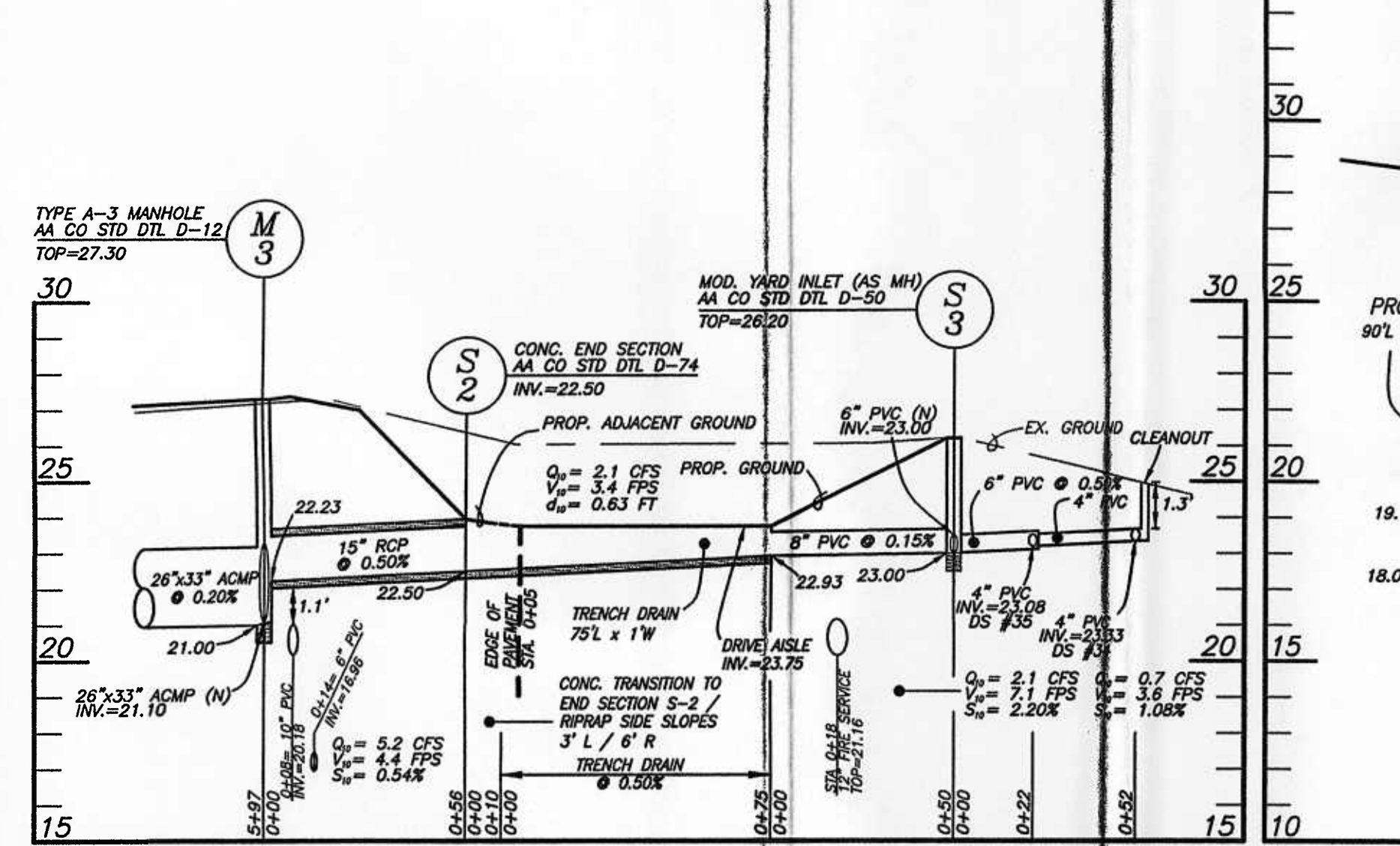
DEPARTMENT OF PUBLIC WORKS STORM DRAIN FLOW TABULATION FORM															
LOCATION:	Pleasure Cove Marina													Date:	10/29/2008
FILE NUMBER:	448													Sheet:	1 of 1
STORM FREQUENCY:	10 year													Designed by:	DCR
Checked by:														DCR	
LOCATION	FROM	TO	AREA	ACRES	COEFF.	CA	Sum CA	TIME CONC. MIN.	INTEN.	Q=CA	PEPE	PIPE	PIPE	REMARKS	
S-B	S-6	3	0.68	0.50	0.612	0.50	0.0	5.0	0.0	5.0	7.00	4.28			
S-A	S-B	3	0.68	0.50	0.612	0.50	0.0	5.0	0.0	5.0	7.00	4.28			
S-6	S-5	3	0.63	0.50	0.567	0.63	0.0	5.0	0.0	5.0	7.00	3.97			
S-5	S-4	3	0.63	0.50	0.567	0.63	0.0	5.0	0.0	5.0	7.00	3.97			
S-4	S-3	3	0.63	0.50	0.567	0.63	0.0	5.0	0.0	5.0	7.00	3.97			
S-3	S-2	3	0.29	0.64	0.186	15.8	0.0	15.8	0.0	15.8	5.05	0.94			
S-2	S-1	3	0.29	0.64	0.186	15.8	0.0	15.8	0.0	15.8	5.05	0.94			
S-1	S-0	3	0.89	0.38	0.320	14.8	0.0	14.8	0.0	14.8	6.68	1.63			
Blk (S-3)	M-3	3	2.49	0.44	1.685	5.0	0.0	5.0	5.4	8.91	11.64	20'x33"	0.20	2.5 66	
Blk (S-4)	M-4	3	2.49	0.44	1.685	5.4	0.0	5.4	5.4	9.20	10.45	20'x33"	0.20	2.5 594	
S-B	S-3	2	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
2A	S-3	2	0.11	0.90	0.099	5.0	0.0	5.0	7.00	0.69					
S-3	S-2	2	0.34	0.61	0.306	5.0	0.0	5.0	7.00	2.12	8"	0.15	7.1	135	
S-2	S-1	2	0.61	0.73	0.445	13.4	0.0	13.4	0.3	2.36					
S-2	M-3	2	0.56	0.73	0.531	2.75	0.3	0.2	5.5	8.89	6.18	10"	0.50	4.4 56	
M-3	M-2	2-3	0.44	0.24	0.246	0.44	0.0	0.5	9.3	8.11	14.69	20'x33"	0.20	3.4 93	
S-1	S-2	2	0.25	0.81	0.203	9.0	0.0	9.0	1.0	1.0					
M-2	M-1	2-3	0.39	0.26	0.203	0.203	0.3	0.1	9.5	6.02	12.21	10"	0.50	3.4 22	
M-1	S-1	2-3	0.39	0.26	0.203	2.639	0.3	0.3	9.6	8.98	15.78	24"	3.38	11.5 232	
S-B	S-1	1	0.40	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.23	0.90	0.207	5.0	0.0	5.0	7.00	1.45					
S-1	S-1	1	0.2												



NOTE: TOP FRAME AND MANHOLE COVER NOT SHOWN.

DETAIL: M-2
NOT TO SCALE FACING EAST

NOTE: GRADE INLET I-2 AS A SUMP.

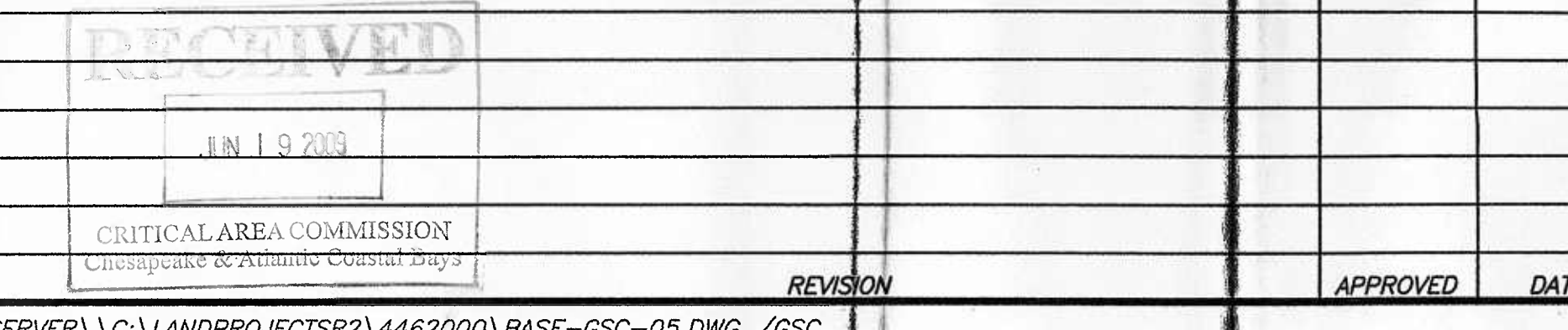


PLAN VIEW: INLET I-1
SCALE: 1" = 5'

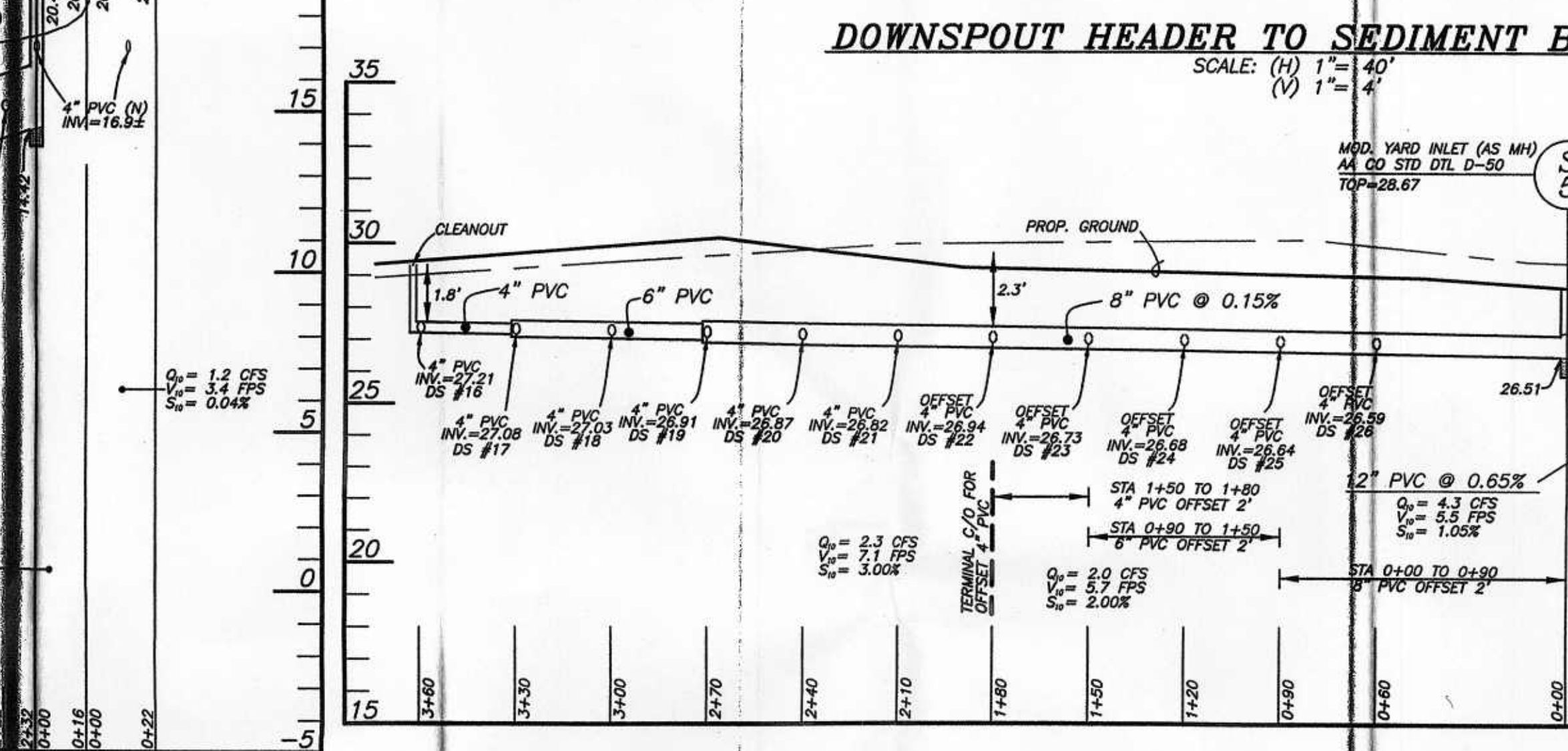
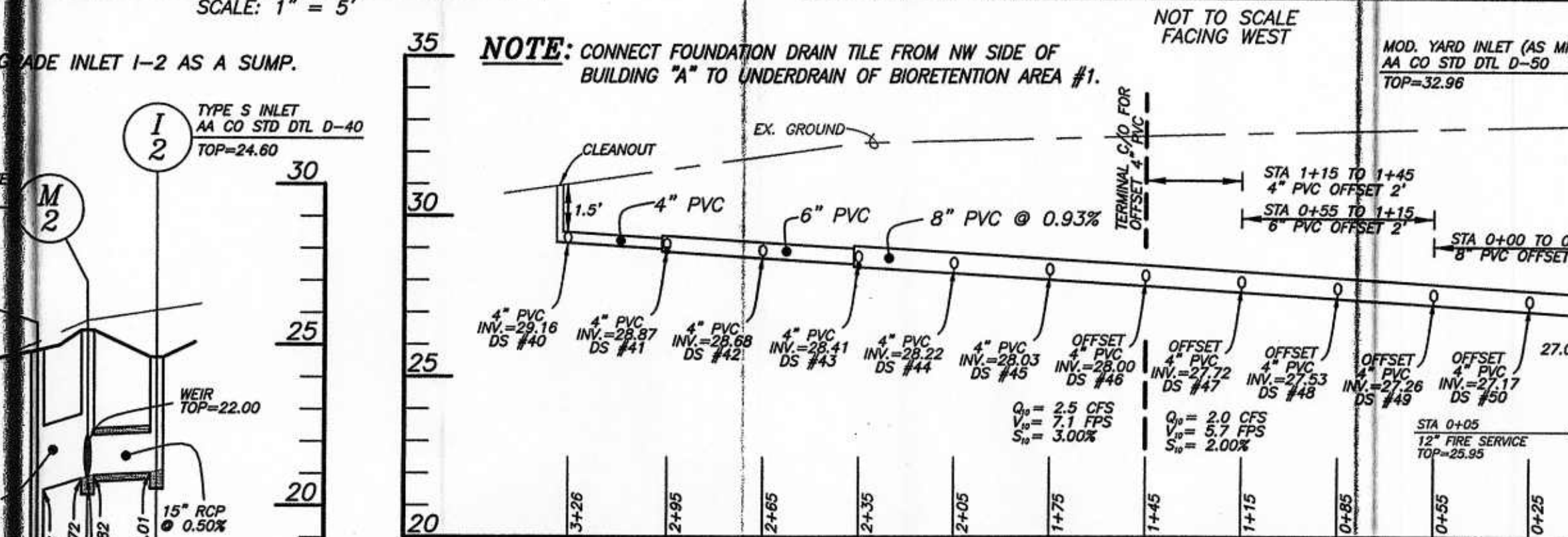
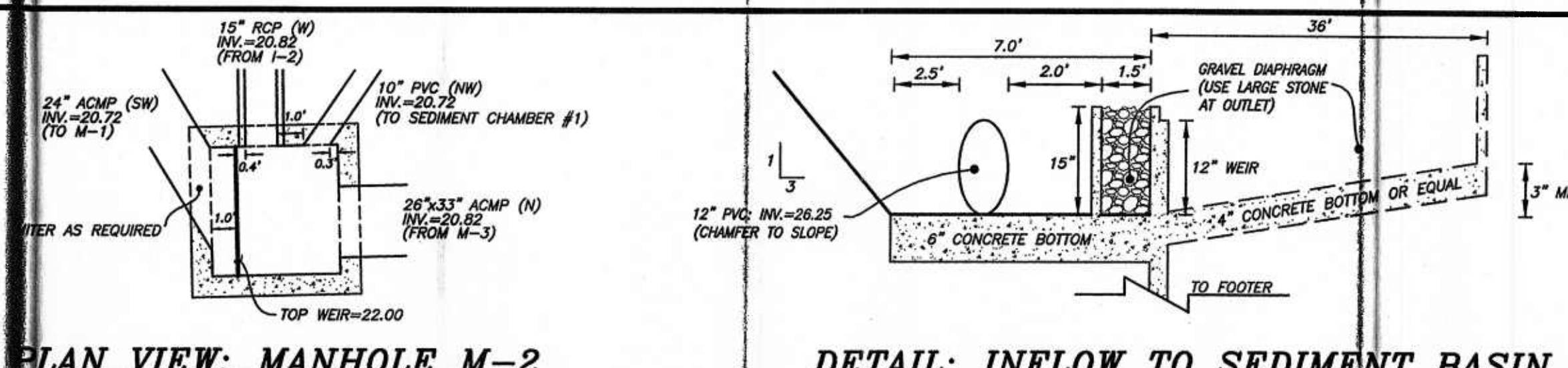
DETAIL: I-1
NOT TO SCALE FACING EAST

DETAIL: M-2
NOT TO SCALE FACING EAST

NOTE: TOP FRAME AND MANHOLE COVER NOT SHOWN.



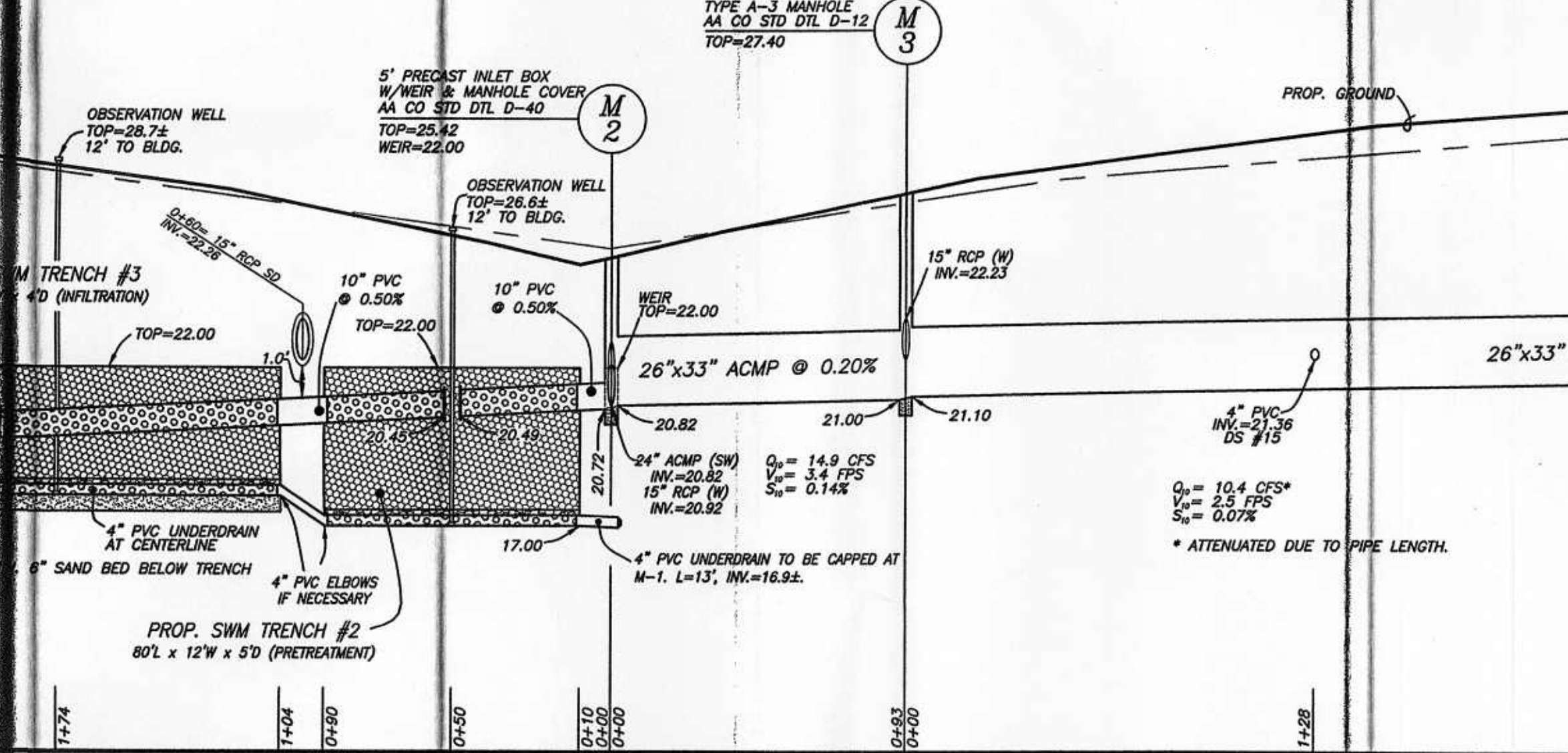
PLAN VIEW: INLET I-2
SCALE: 1" = 5'



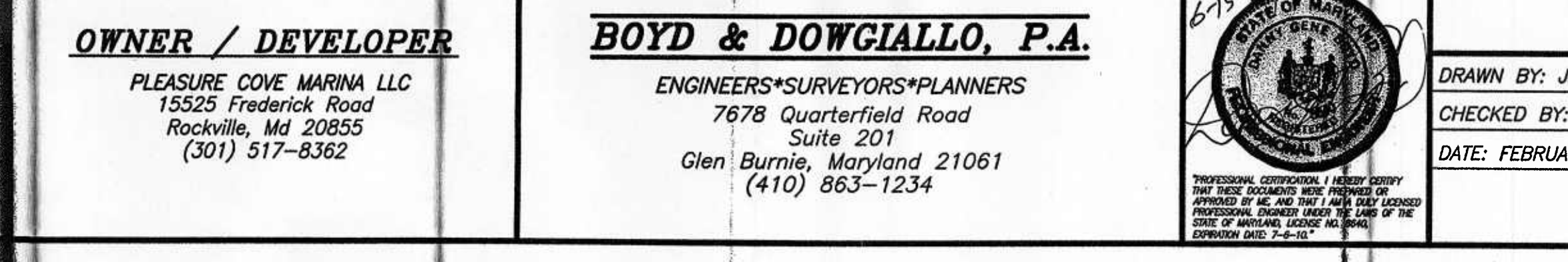
DETAIL: INFLOW TO SEDIMENT BASIN #1A
NOT TO SCALE FACING WEST

DOWNSPOUT HEADER TO SEDIMENT BASIN #1A
SCALE: (H) 1" = 40', (V) 1" = 4'

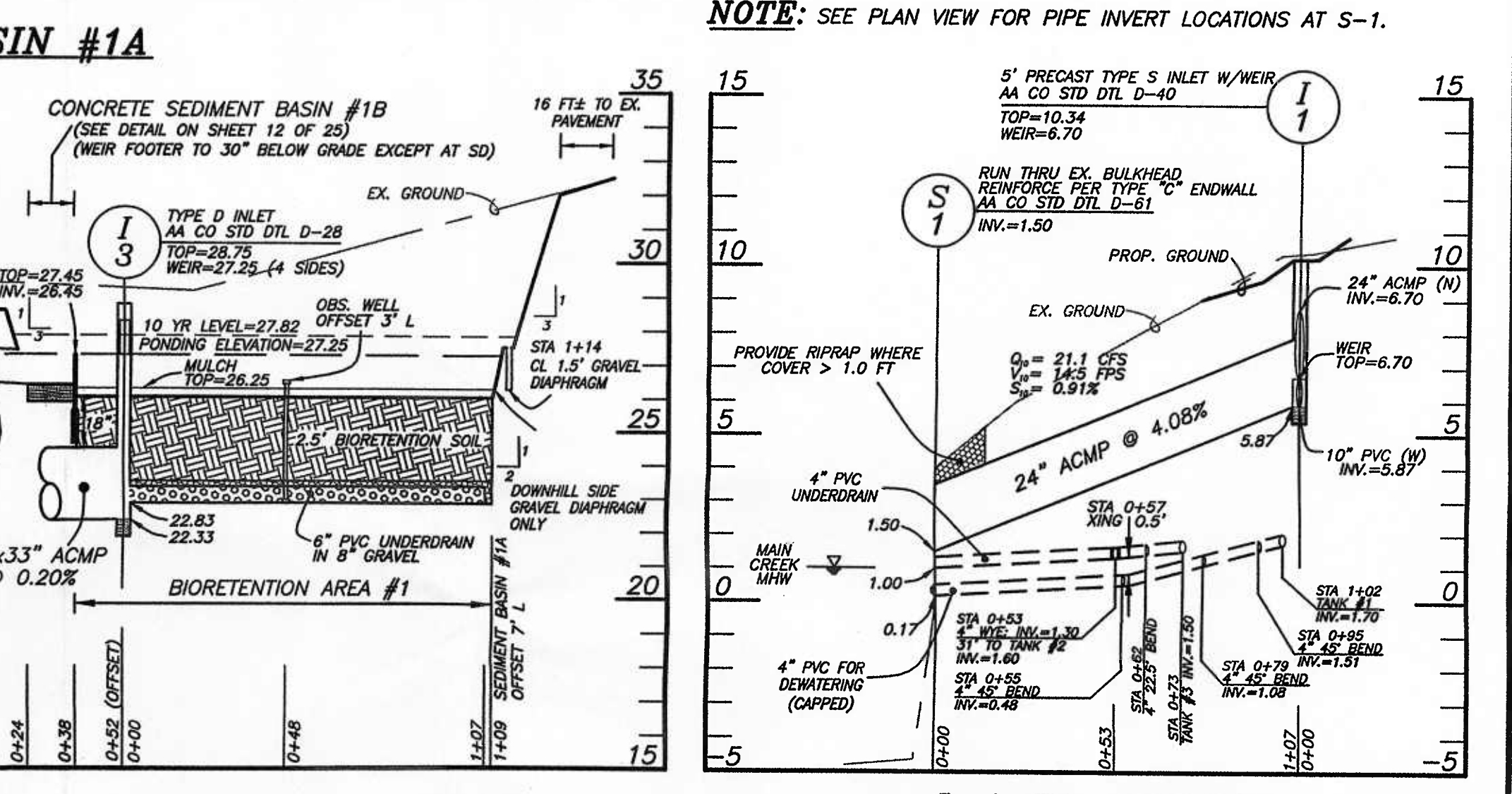
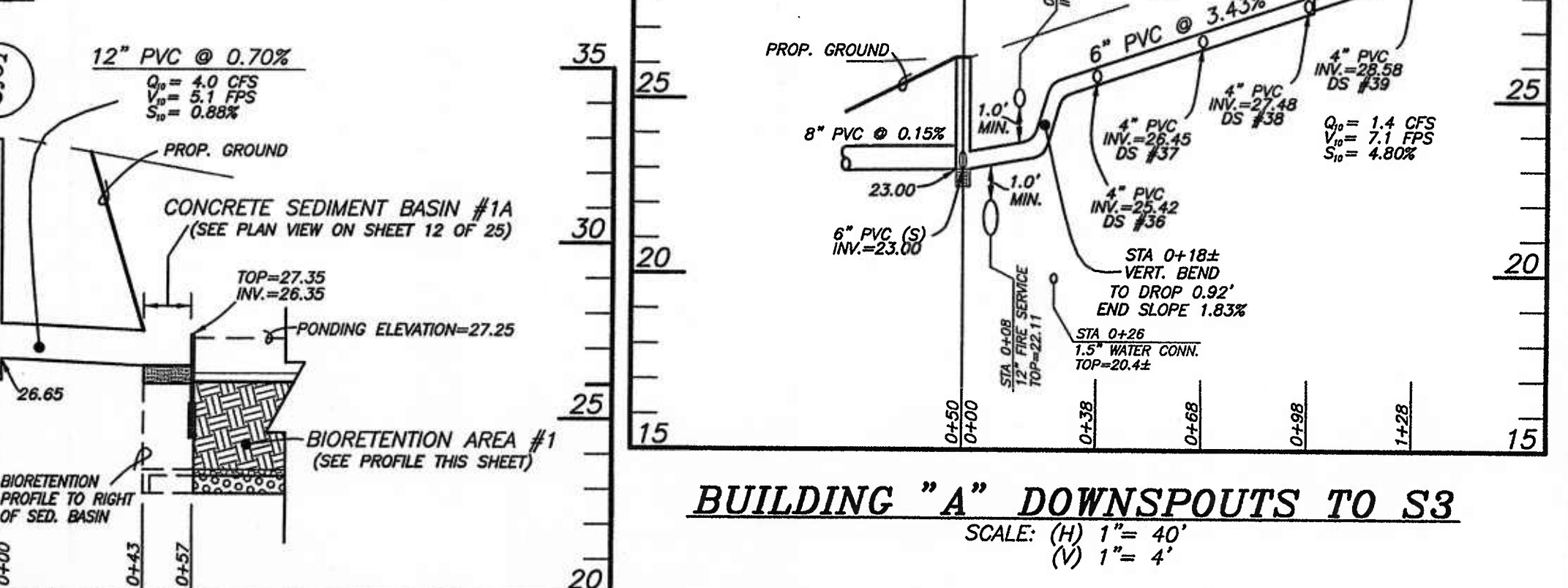
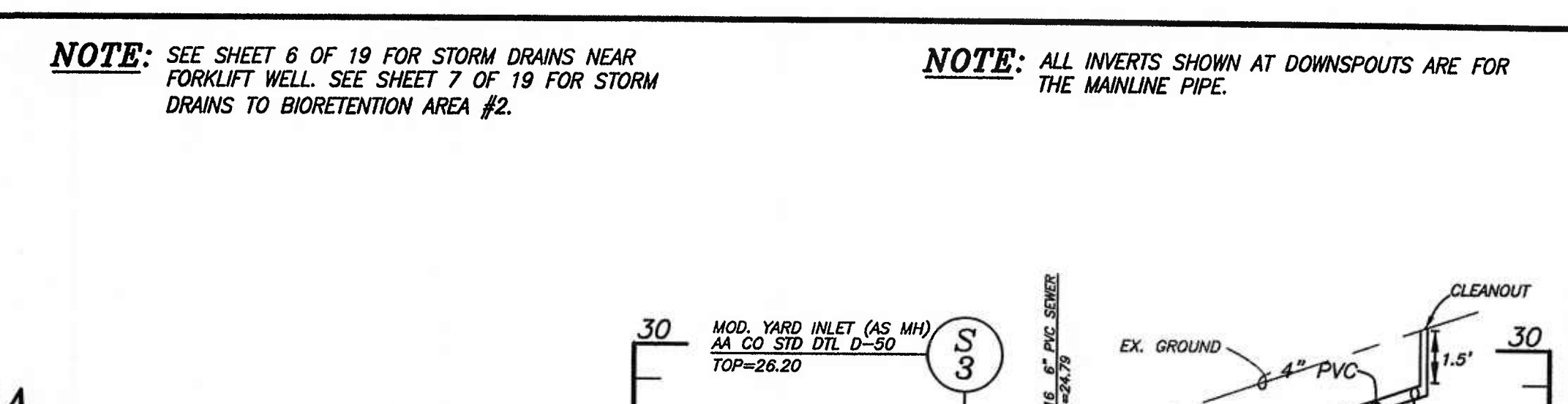
DOWNSPOUT HEADER TO SEDIMENT BASIN #1B
SCALE: (H) 1" = 40', (V) 1" = 4'



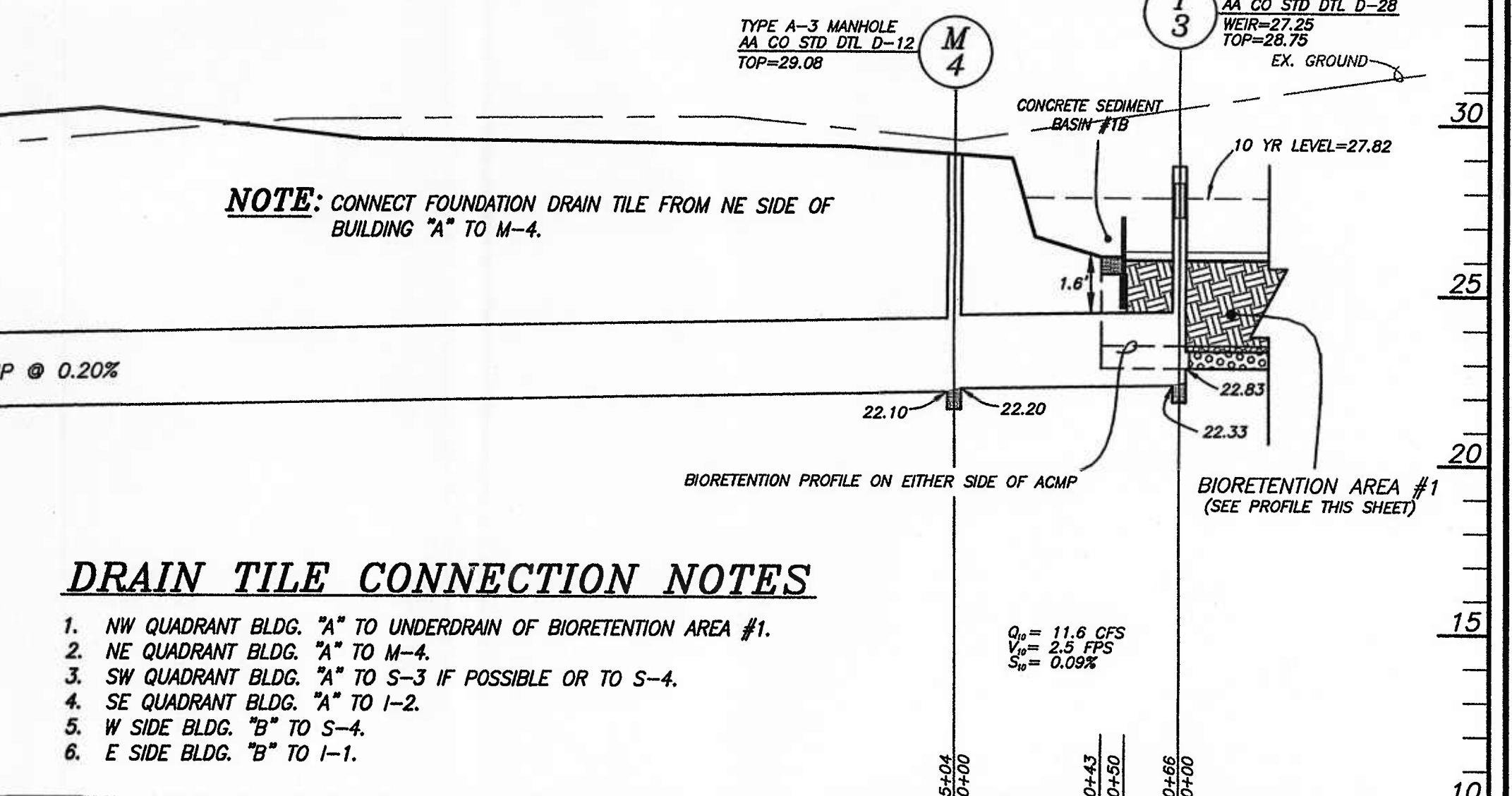
PLAN VIEW: INLET I-2
SCALE: 1" = 5'



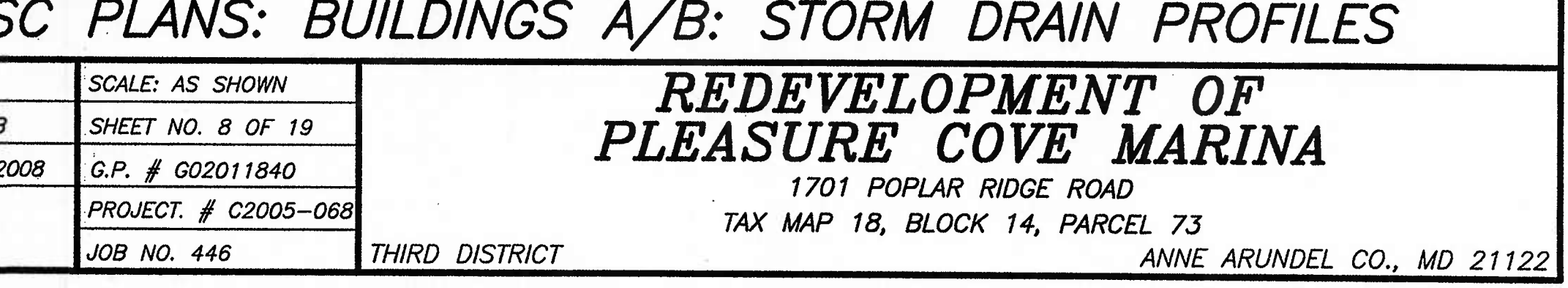
PLAN VIEW: INLET I-2
SCALE: 1" = 5'



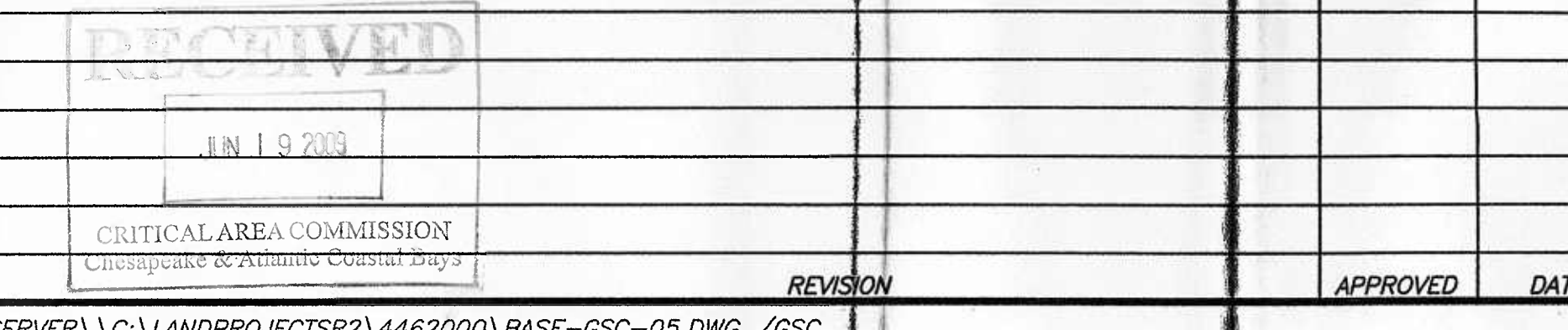
BUILDING 'A' DOWNSPOUTS TO S3
SCALE: (H) 1" = 40', (V) 1" = 4'



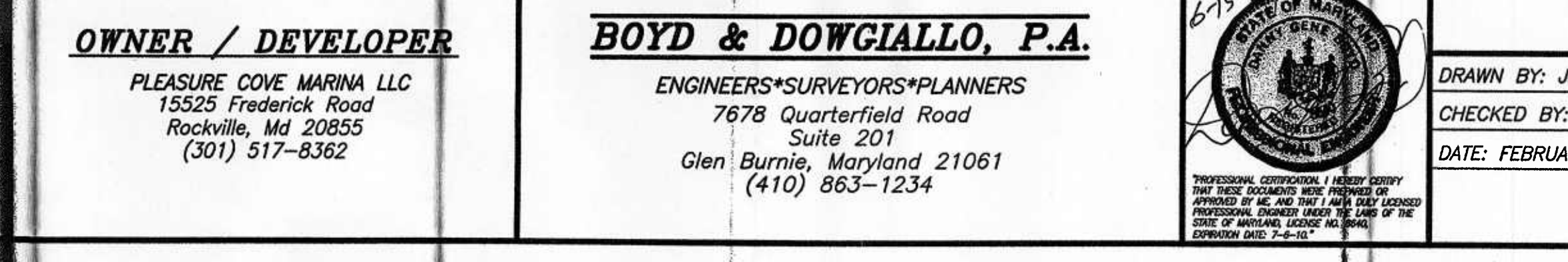
I-1 TO OUTFALL
SCALE: (H) 1" = 40', (V) 1" = 4'



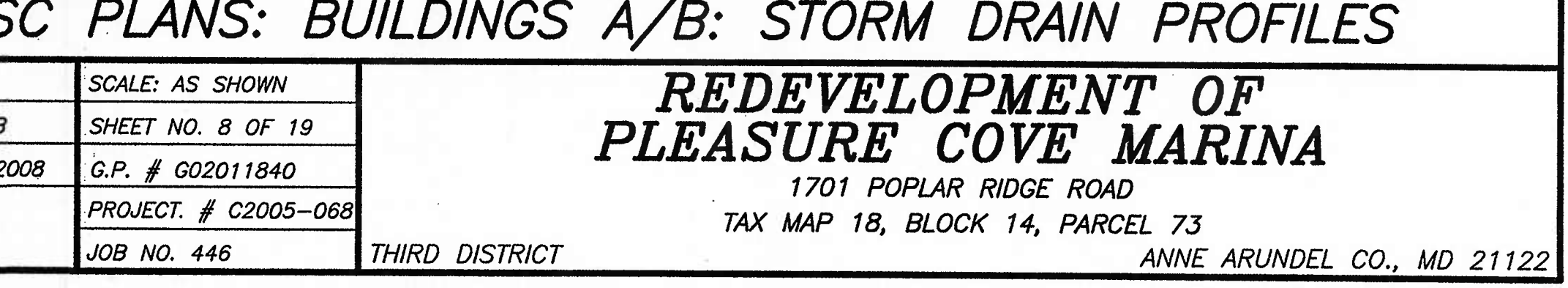
I-3 TO M-2
SCALE: (H) 1" = 40', (V) 1" = 4'



PLAN VIEW: INLET I-2
SCALE: 1" = 5'



PLAN VIEW: INLET I-2
SCALE: 1" = 5'



PLAN VIEW: INLET I-2
SCALE: 1" = 5'

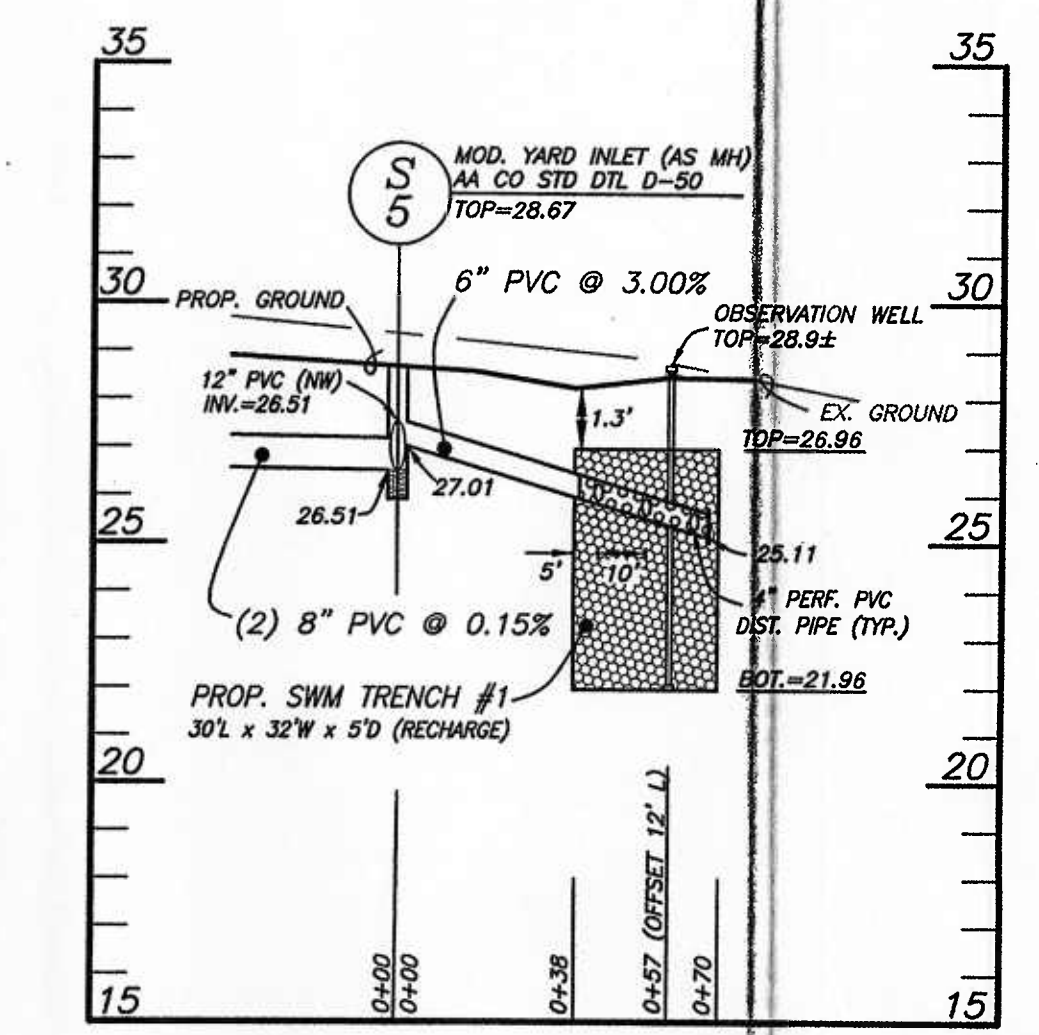
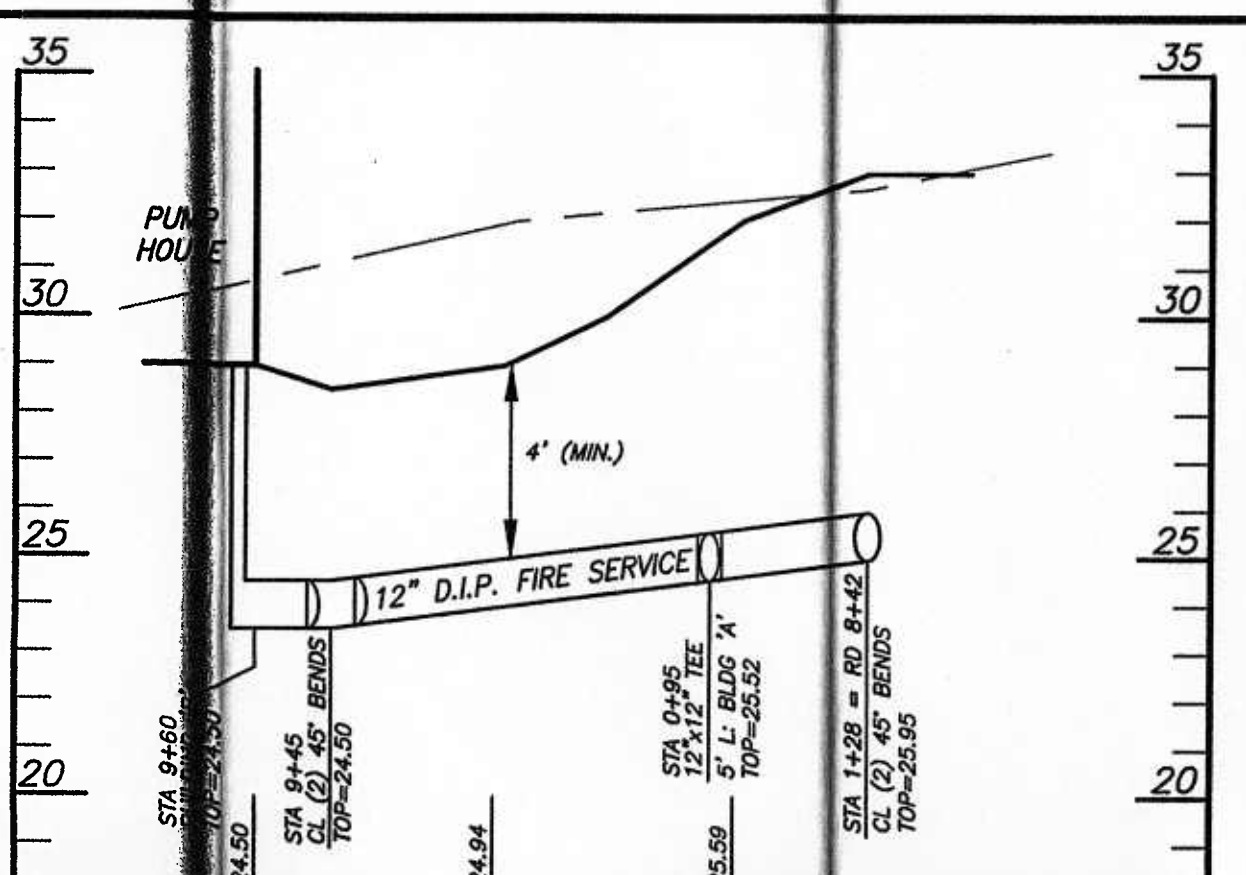
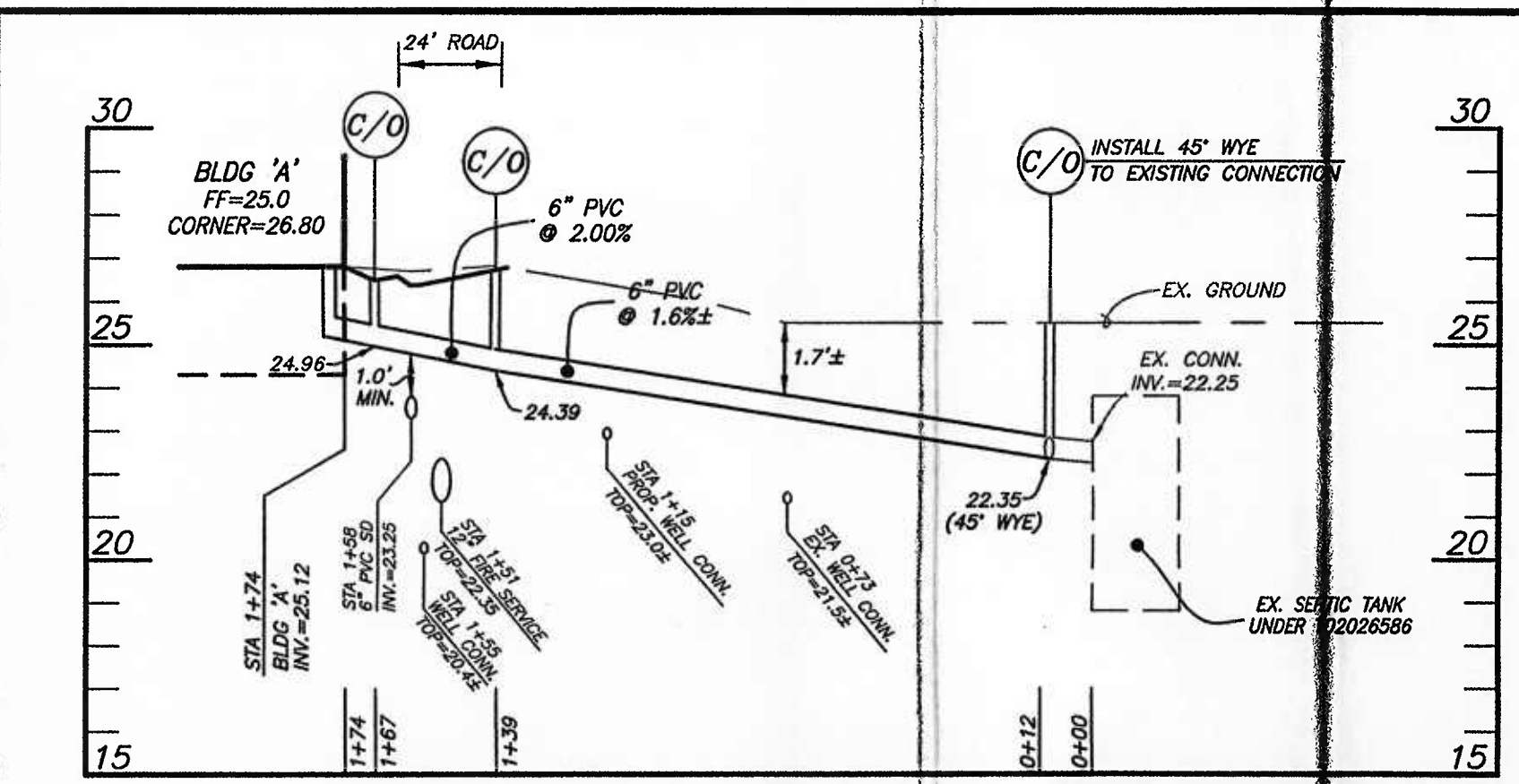
OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15525 Quarterfield Road
Rockville, Md 20855
(301) 517-8362

BOYD & DOWGIALLO, P.A.
ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234

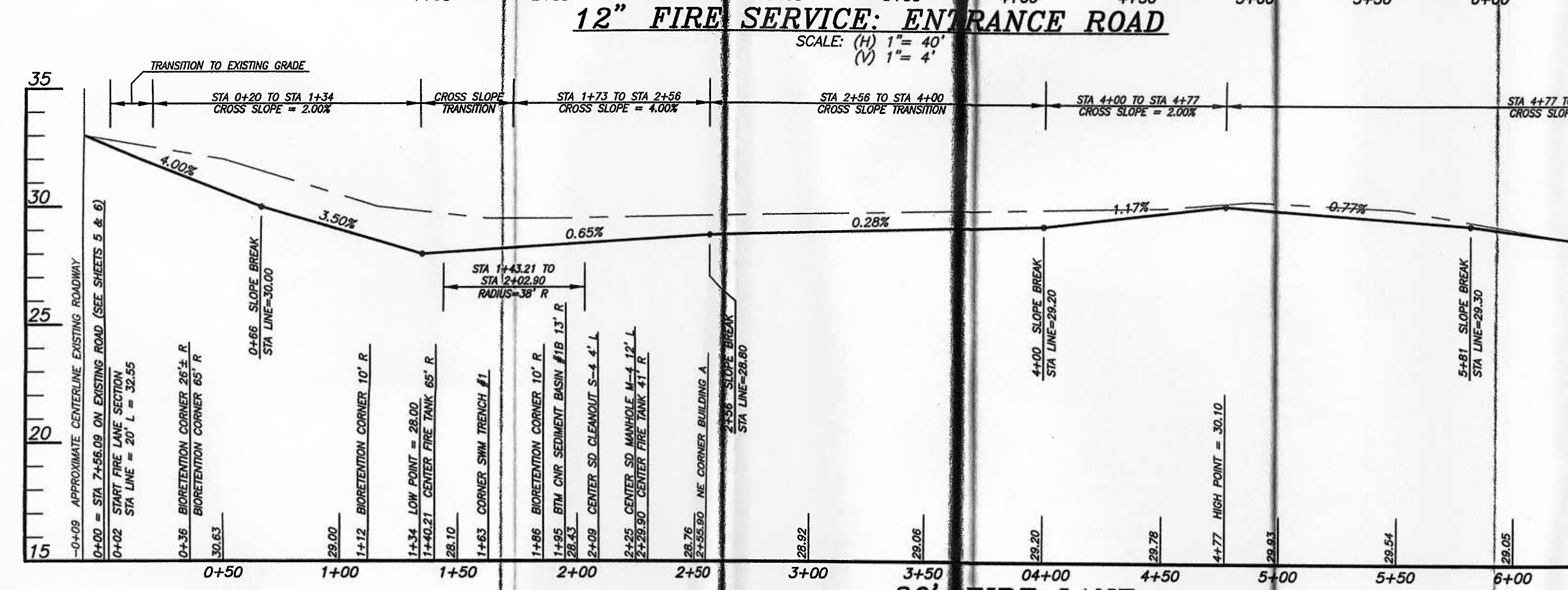
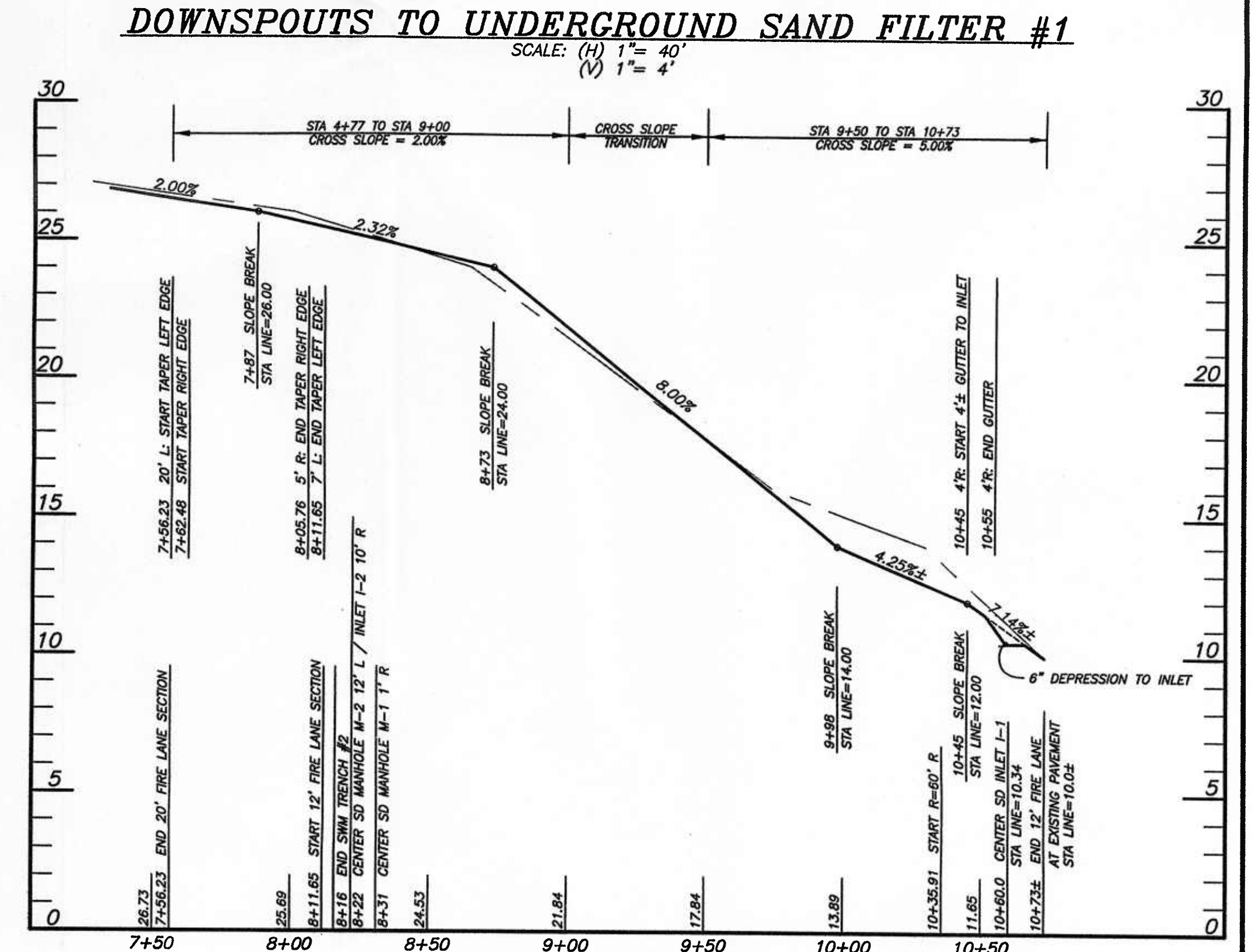
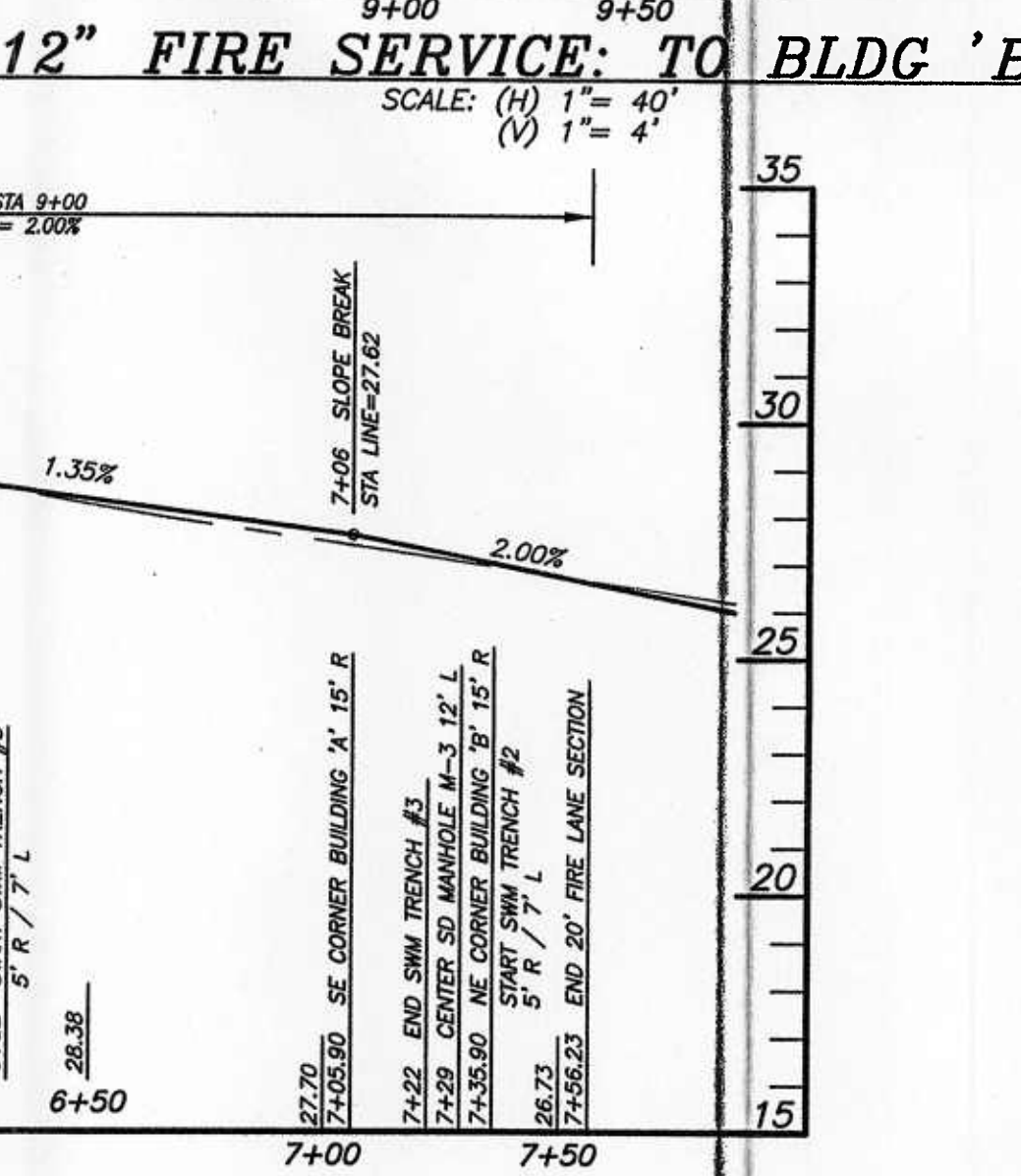
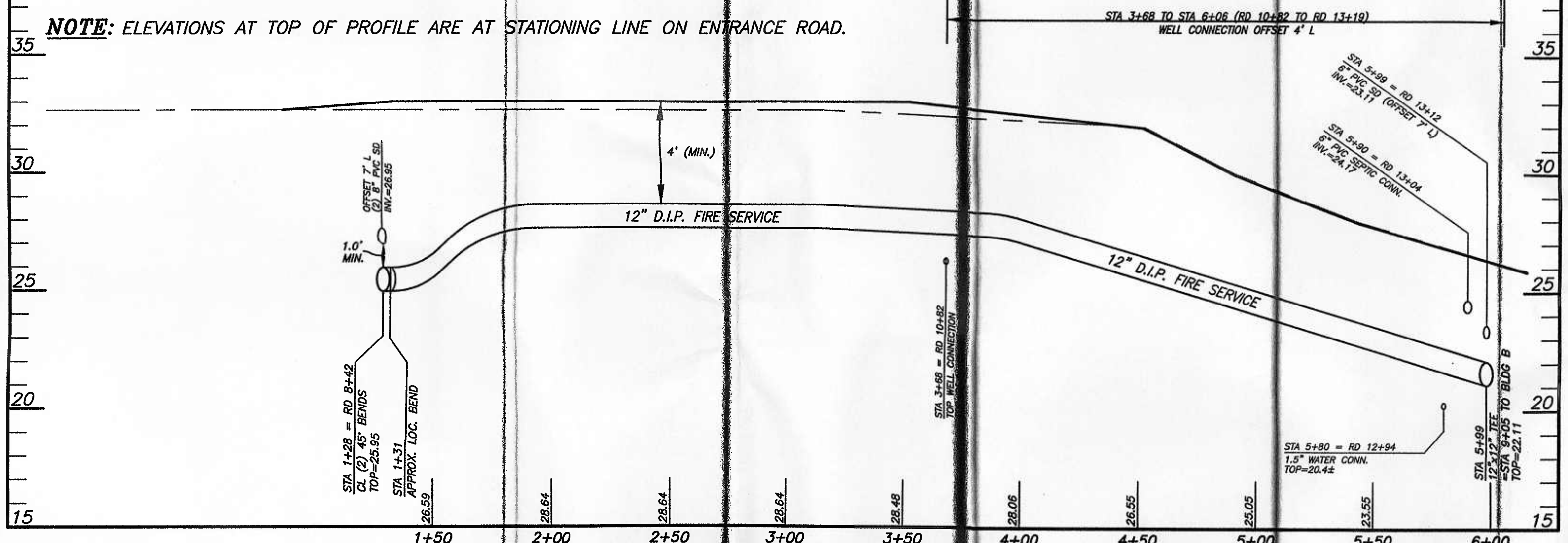
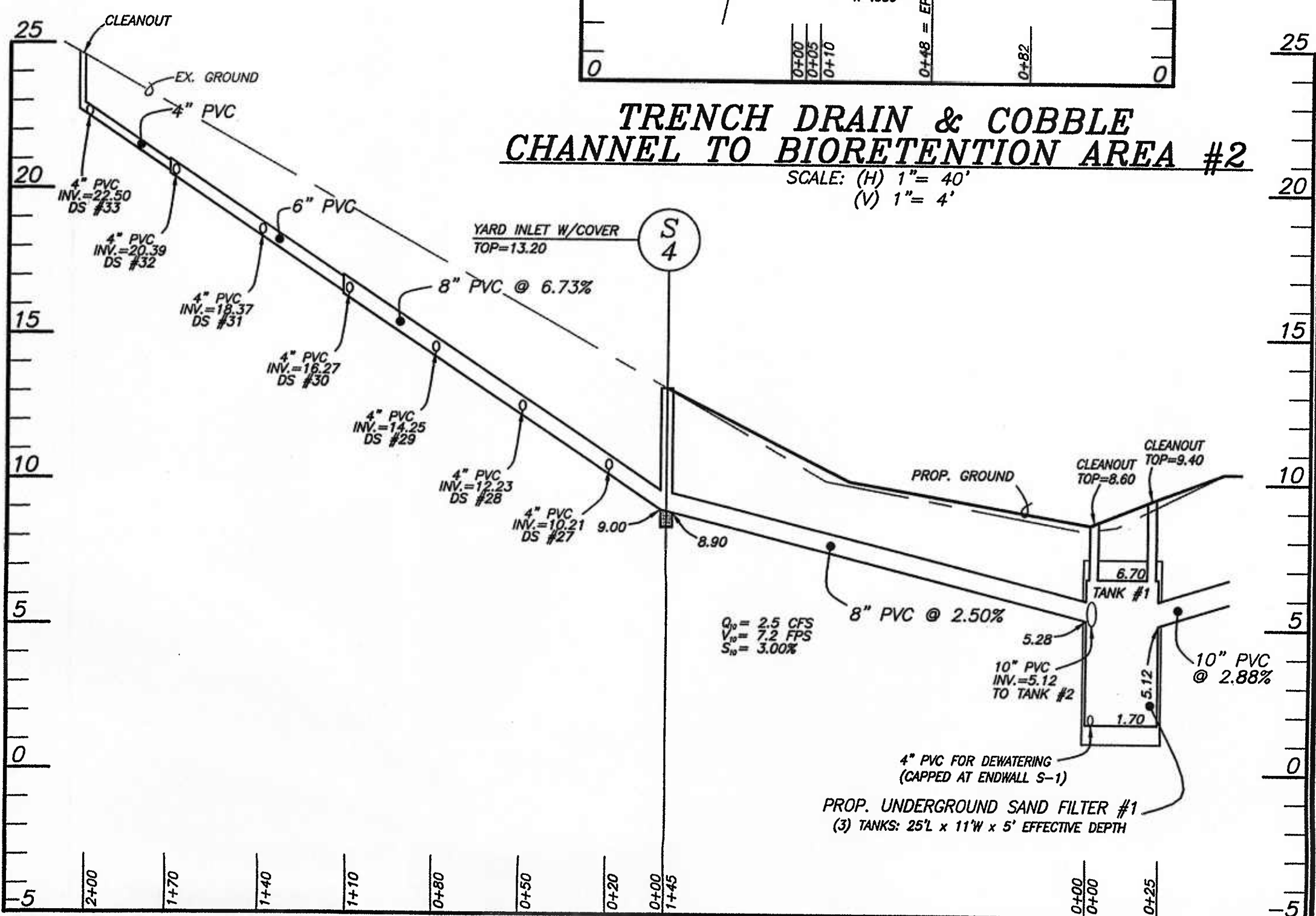
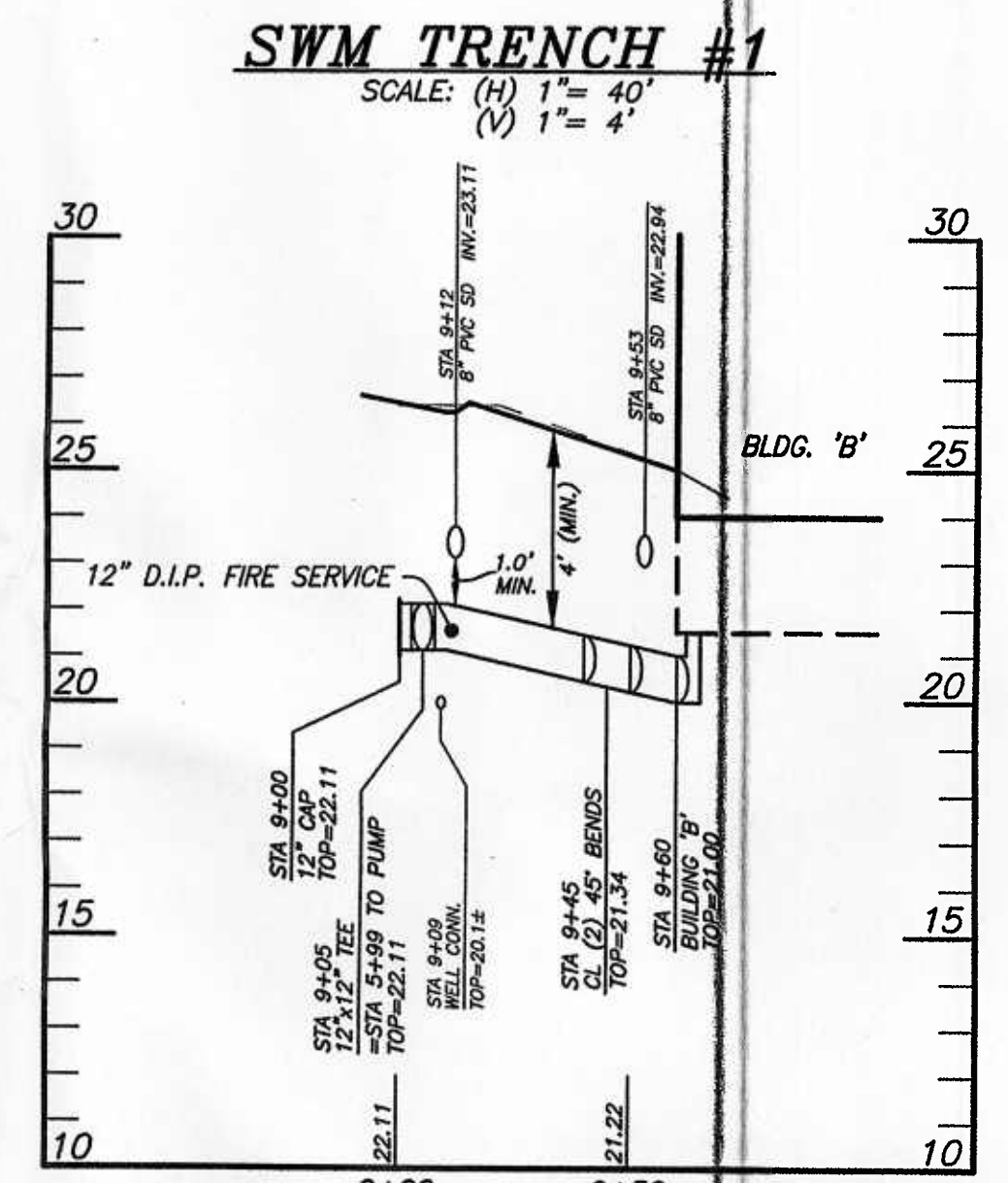
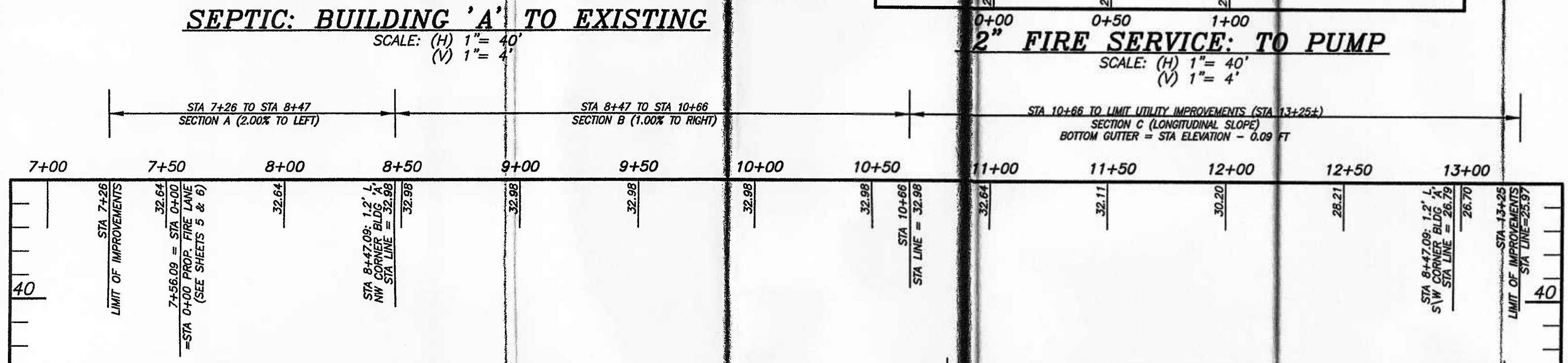
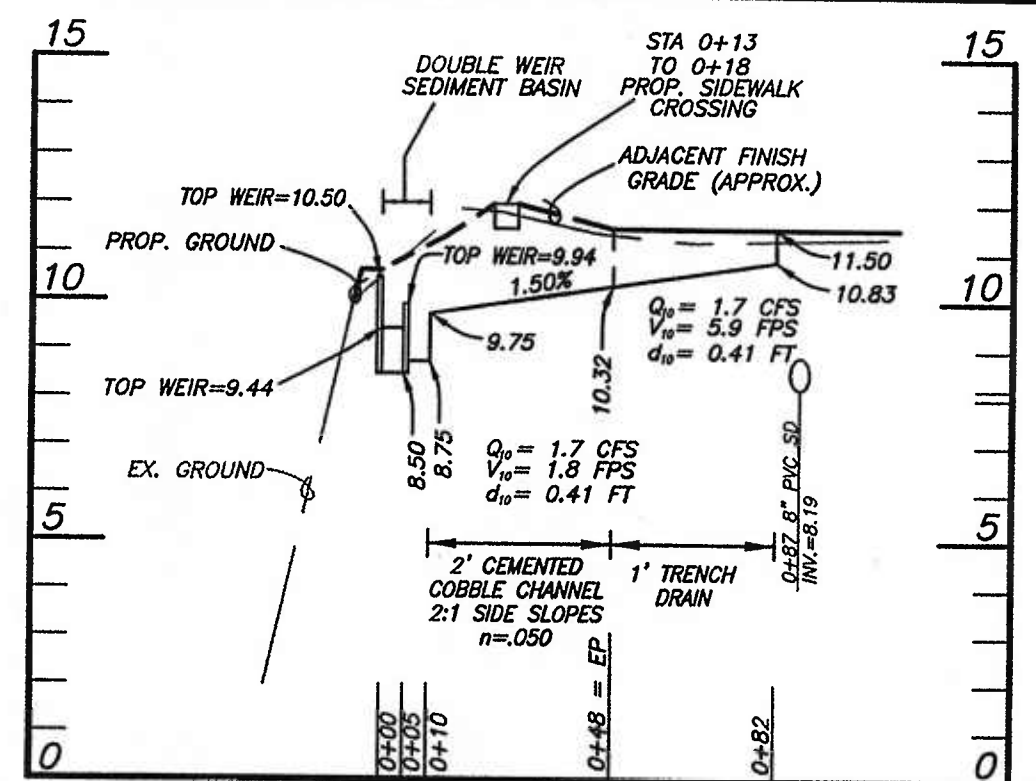
GSC PLANS: BUILDINGS A/B: STORM DRAIN PROFILES

DRAWN BY: JMF	SCALE: AS SHOWN
CHECKED BY: DGB	SHEET NO. 8 OF 19
DATE: FEBRUARY, 2008	G.P. # G02011840
PROJECT: # C2005-088	JOB NO. 446
THIRD DISTRICT	

REDEVELOPMENT OF PLEASURE COVE MARINA
1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73
ANNE ARUNDEL CO., MD 21122



NOTE: SEE SHEET 7 OF 19 FOR OUTFALL PROFILE FOR BIORETENTION AREA #2.



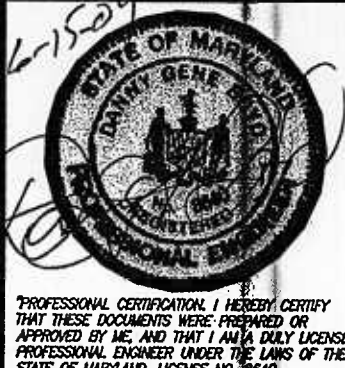
NOTE: WHERE GIVEN ELEVATIONS AT BOTTOM OF PROFILES REPRESENT TOP OF WATER.

ELEVATIONS ON PROFILES ARE FINISH SURFACE AT STATIONING LINE, EXCEPT AS NOTED.

RECEIVED
JUN 19 2008
CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, Md 20855
(301) 517-8362

BOYD & DOWGIALLO, P.A.
ENGINEERS*SURVEYORS*PLANNERS
7678 Quarterfield Road
Suite 201
Glen Burnie, Maryland 21061
(410) 863-1234



GSC PLANS: BUILDINGS A/B: ROAD & UTILITY PROFILES

DRAWN BY: JMF
CHECKED BY: DGB
DATE: FEBRUARY, 2008
G.P. # G02011840
PROJECT: # C2005-068
JOB NO. 446

REDEVELOPMENT OF
PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

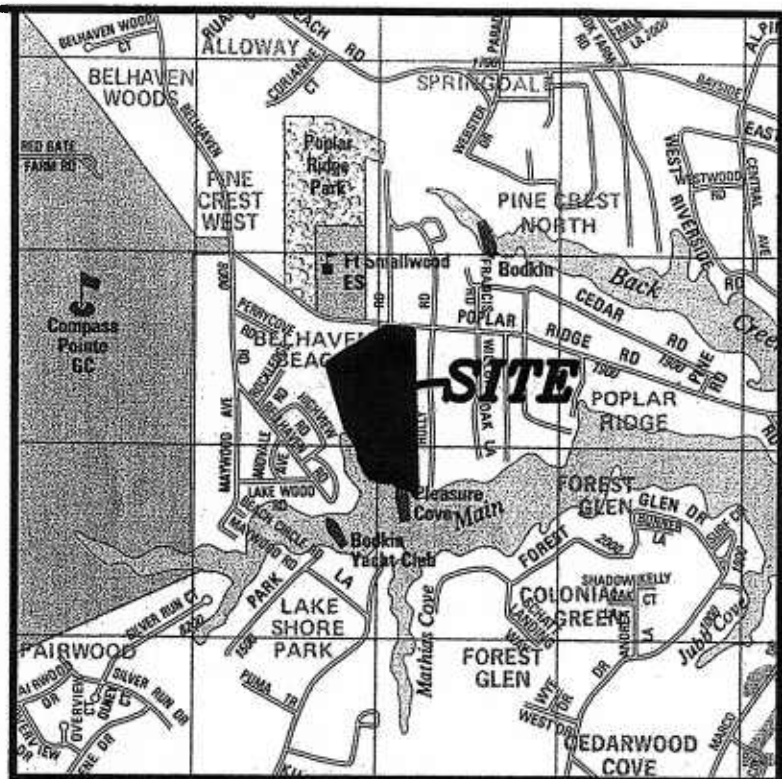
THIRD DISTRICT

ANNE ARUNDEL CO., MD 21122

JOB#446

Pleasure Cove Marina Redevelopment

Planting Plan



Copyright ADC The Map People® Permitted Use #20803114

VICINITY MAP
Scale 1" = 2000'

SITE ANALYSIS

Existing Zoning	MB/R2
R2 Area	593,093 Sq.Ft. ± (13.62 Ac. ±)
MB Area	371,131 Sq.Ft. ± (8.52 Ac. ±)
R1 Area	19,641 Sq.Ft. ± (0.45 Ac. ±)
Total Site Area	983,865 Sq.Ft. ± (22.59 Ac. ±)
Total Vegetated Area	111,815 Sq.Ft. ± (2.57 Ac. ±)
Existing Woodlands	329,524 Sq.Ft. ± (7.56 Ac. ±)
Existing Woodlands cleared	0 Sq.Ft. ± (0 Ac. ±)
Total Disturbed Area*	329,517 Sq.Ft. ± (7.57 Ac. ±)
Area within 100 Year Floodplain	41,177 Sq.Ft. ± (0.95 Ac. ±)
Area within Critical Area Buffer	85,419 Sq.Ft. ± (1.96 Ac. ±)
Gravel to be removed from Parking Areas**	5,660 Sq.Ft. ± (0.13 Ac. ±)
Existing Impervious Area (MA)	284,332 Sq.Ft. ± (6.53 Ac. ±)
Ex. Impervious Area (MB)	263,574 Sq.Ft. ± (6.05 Ac. ±)
Prop. Impervious Area (MA)	39,585 Sq.Ft. ± (0.91 Ac. ±)
Prop. Impervious Area (R2)	20,776 Sq.Ft. ± (0.47 Ac. ±)
Grading Quantities	11,500 Cu.Yds. CUT 300 Cu.Yds. FILL

* Not including gravel removed from existing parking or boat storage areas, except where adjacent to other proposed work.
** Nominal area of disturbance on existing gravel lots currently used for or to be converted to parking. These areas are to be vegetated and (as necessary) defined with riprap or boulders, as shown on sheet 9 of the GSC plans.

SOILS:

(RnC) - Russell-Allaway-Hambrick Complex, 5 to 10% slopes (B)
(RbB) - Russell-Allaway-Hambrick Complex, 0 to 5% slopes (B)
(SoD) - Sassafras fine sandy loam, 10 to 15% slopes (B)
(PgB) - Potomac-Fort Mott-Urban Land Complex, 0 to 5% slopes (A)
(PgD) - Potomac-Fort Mott-Urban Land Complex, 5 to 15% slopes (A)

CRITICAL AREA NOTES

Total Site Area	983,865 Sq.Ft. ± (22.59 Ac. ±)
Critical Area Classification	LDA/RCA
Critical Area Within Site	
LDA	411,815 Sq.Ft. ± (9.45 Ac. ±)
RCA	524,105 Sq.Ft. ± (12.03 Ac. ±)
Total	935,920 Sq.Ft. ± (21.48 Ac. ±)
Existing Woodlands	329,524 Sq.Ft. ± (7.56 Ac. ±)
Maximum Allowable Clearing	98,657 Sq.Ft. ± (2.27 Ac. ±)
Proposed Clearing	14,137 Sq.Ft. ± (0.33 Ac. ±)
Existing Impervious Area	
LDA	301,423 Sq.Ft. ± (6.90 Ac. ±) (32%)
RCA	3,652 Sq.Ft. ± (0.10 Ac. ±) (1%)
Total	305,075 Sq.Ft. ± (7.00 Ac. ±)
Maximum Impervious Area	305,075 Sq.Ft. ± (7.00 Ac. ±) (33%)
Proposed Impervious Area	
LDA	280,700 Sq.Ft. ± (6.44 Ac. ±) (29%)
RCA	3,652 Sq.Ft. ± (0.10 Ac. ±) (1%)
Total	284,352 Sq.Ft. ± (6.53 Ac. ±)
Proposed Forest Conservation	230,426 Sq.Ft. ± (5.29 Ac. ±)
Existing Shoreline Vegetation	
Placed in Easement	8,033 Sq.Ft. ± (0.18 Ac. ±)
Proposed Reforestation	70,908 Sq.Ft. ± (1.63 Ac. ±)
Total Conservation Easement	309,349 Sq.Ft. ± (7.10 Ac. ±)
Disturbed Pervious Area	
Within 25' Buffer	6,034 Sq.Ft. ± (0.14 Ac. ±)
Within Remaining 100' Buffer	23,095 Sq.Ft. ± (0.53 Ac. ±)
Impervious Area	
Within 25' Buffer	530 Sq.Ft. ± (0.01 Ac. ±)
Within Remaining 100' Buffer	7294 Sq.Ft. ± (0.17 Ac. ±)

SHEET INDEX

Title Sheet	1
Site Analysis	1
Critical Area Notes	1
Master Plan -- Bonding Key (60 Scale)	2
Master Plan -- Easement Key (60 Scale)	3
General Planting Specifications	4
General Planting Details	4
Plant Schedules	1, 6 & 10
AACo Landscape Plan	2, 4, 5 & 6
SWM/Bio-Retention Plan	2, 4, 5 & 6
Street Tree Plan	2, 4, 5 & 6
Critical Area Shoreline Buffer Plan	2, 3, 4, 7 & 8
CA Shoreline Planting Reconciliation Chart	8
Critical Area Violation Compliance Plan	4, 9 & 10
CA Violation Planting Reconciliation Chart	10

Master Plant Schedule

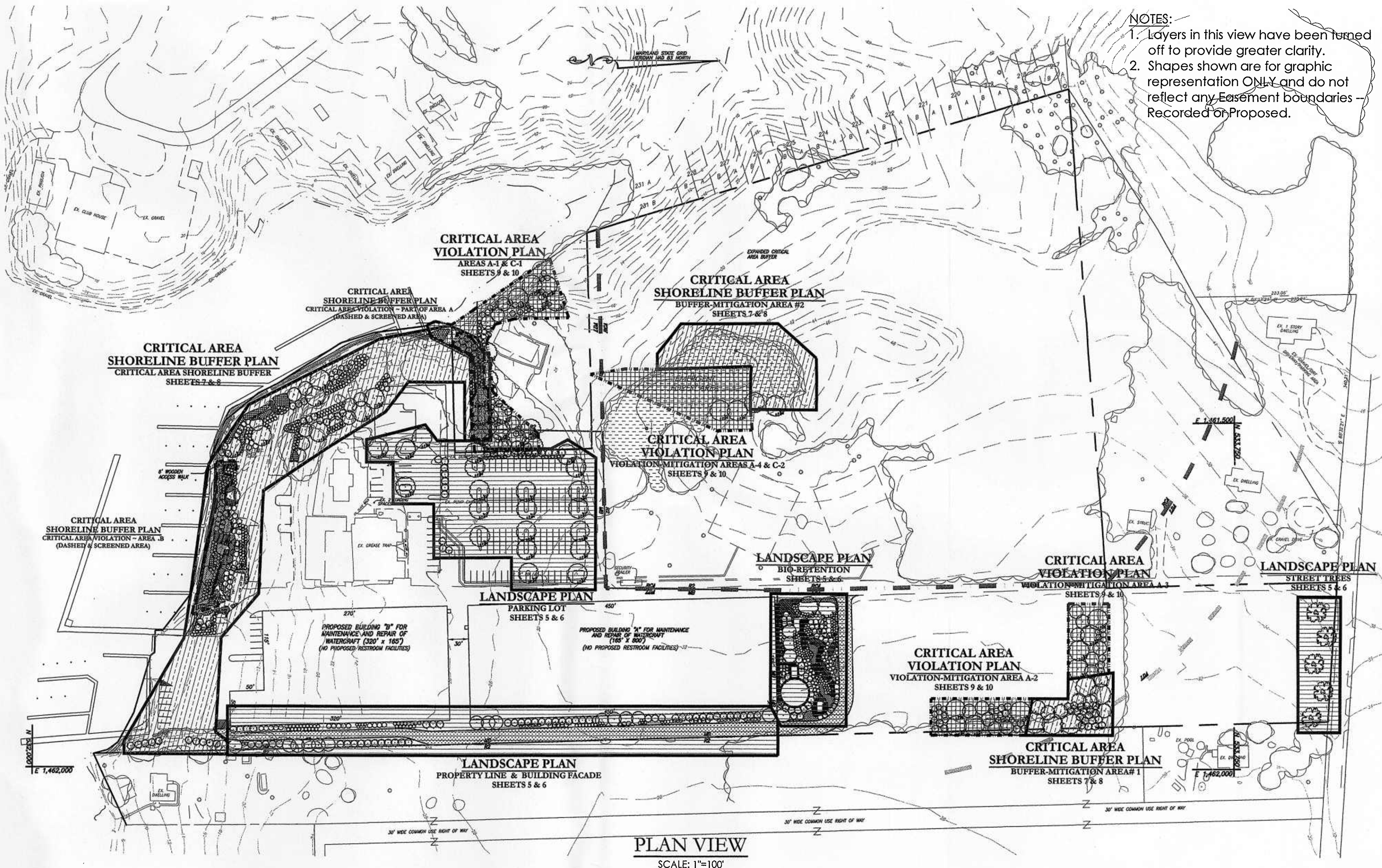
This list totals the other Plant Schedules shown on the plans.

Code	Quantity	Scientific Name	Common Name	Size	Condition	Spacing
ACSS	12	Amelanchier canadensis	Shadblow Serviceberry	6' - 8'	B & B	As Shown
AG8B	118	Andropogon gerardii	Big Bluestem	1 Gal.	Container	5' OC
AG8B	50	Andropogon glomeratus	Bushy Bluestem	1 Gal.	Container	4' OC
CCBJ	499	Calamagrostis canadensis	Blue Joint	1 Gal.	Container	18" OC
CCER	6	Cercis canadensis	Eastern Redbud	6' - 8'	B & B	As Shown
CVWF	19	Chionanthus virginicus	White Fringe Tree	6' - 8'	B & B	15' OC
CPCC	21	Corvus florida 'Cherokee Chief'	Cherokee Chief Dogwood	6' - 8'	B & B	As Shown
DCB	461	Deschampsia cespitosa 'Bronzeschiele'	Bronzeschiele Tufted Hair Grass	1 Gal.	Container	18" OC
EMG	61	Eupatorium maculatum 'Galeway'	Joe Pye Weed	1 Gal.	Container	2' OC
GPW	30	Gaultheria procumbens	Wintergreen	2' - 2.5'	B & B	3' OC
HVAW	54	Hamamelis virginiana	American Witch Hazel	2' - 3'	B & B	8' OC
HA'A	14	Hydrangea arborescens 'Annabel'	Annabel Lee Hydrangea	2 GAL	Container	As Shown
HDSJ	42	Hypericum densiflorum	St. John's Wort	3' - 4'	B & B	3' OC
IG	101	Ilex glabra	Inkberry Holly	2' - 2.5'	B & B	As Shown
IV	31	Ilex verticillata	Winterberry Holly	2' - 3'	B & B	5' OC
IVBF	220	Iris versicolor	Blue Flag Iris	1 Gal.	Container	18" OC
KASL	12	Kalmia angustifolia	Sheep Laurel	2' - 2.5'	B & B	3' OC
MPNB	88	Morella pensylvanica	Northern Bayberry	2' - 2.5'	B & B	7' OC
PACB	72	Panicum amarum	Coastal Beachgrass	1 Gal.	Container	18" OC
PVFM	60	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 Gal.	Container	38" OC
PVR	124	Panicum virgatum 'Rotschilbush'	Red Switch Grass	1 Gal.	Container	38" OC
PMBC	129	Phytolitia melanocarpa	Black Chokecherry	2' - 2.5'	Container	As Shown
PV	126	Pinus virginiana	Virginia Pine	5' - 6'	B & B	As Shown
QA	1	Quercus alba	White Oak	2' - 2.5'	B & B	As Shown
QR	68	Quercus rubra	Red Oak	2' - 2.5'	B & B	As Shown
QR-s1	5	Quercus rubra (street tree)	Red Oak	3' - 3.5'	B & B	As Shown
SSB	249	Schizachyrium scoparium	Little Bluestem	1 Gal.	Container	2' OC
SGC	543	Solidago canadensis	Goldenrod	1 Gal.	Container	18" OC
SNIG	310	Sorghastrum nutans	Indiangrass	1 Gal.	Container	38" OC
SPSC	185	Spartina patens	Saltmeadow Cordgrass	1 Gal.	Container	18" OC
SANM	96	Spirea alba	Narrow-leaved Meadow-sweet	2.5' - 3'	B & B	5' OC
ANA/AP	235	Symphoricarpos noveboracensis 'Alma Poetschke'	Alma Poetschke New England Aster	1 Gal.	Container	18" OC
VAMV	64	Viburnum acerifolium	Moppleaved Arrowwood	2' - 3'	B & B	5' OC

NOTES:
1) Plant substitutions shall not be made without the notification and written approval of the Landscape Architect.
2) Substitutions will not be allowed after the bid has been accepted.
3) In the event of any discrepancy between the plan and this list -- the PLAN takes precedence.

The following sheets contain the complete Planting Plan for the proposed plantings for the Pleasure Cove Marina Redevelopment Project. The information previously presented in the Site Development Plan has been revised here to be conveyed in one master plan. This plan includes the following plantings:

- The Landscape Plan Planting -- Previously APPROVED; no modifications
 - Plantings as required by the AACo Landscape Manual.
 - The Storm Water Management Planting -- a Bio-retention planting at the end of Building A.
 - The Street Tree Planting
- The Critical Area Shoreline Buffer Plan -- as required to comply with the Critical Area Shoreline 25' and 100' Buffer requirements. Previously APPROVED; but REVISED
 - Shoreline plantings -- including Area B of the Critical Area Violation Compliance Case # E-2008-0357
 - Buffer-mitigation areas as necessary to comply with the Critical Area regulations.
- The Critical Area Violation Vegetative-Mitigation Plan -- as required to address Compliance Case # E-2008-0357.
 - Area A -- and Violation-mitigation Areas A-2 through A-4
 - Area C -- and Violation-mitigation Area C-2
 - NOTE: The plantings for Area B are shown on the Critical Area Shoreline Buffer Plan.



- NOTES:
- Layers in this view have been turned off to provide greater clarity.
 - Shapes shown are for graphic representation ONLY and do not reflect any Easement boundaries -- Recorded or Proposed.

SDP Sheet# 16 of 25
GSC Sheet# 10 of 19

AACo APPROVAL
REVIEWER'S SIGNATURE & DATE

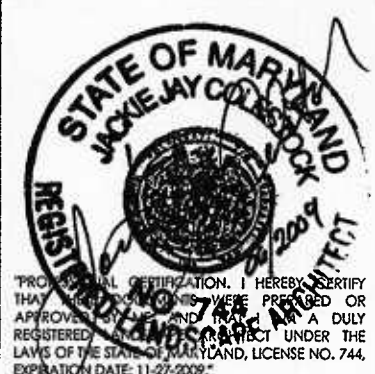
OWNER / DEVELOPER

PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, MD 20855
(301) 517-8362

ENVIRONMENTAL SERVICES, LTD

7678 Quarterfield Road, Suite 102
Glen Burnie, Maryland 21061

410-863-5901
FAX: 410-863-8844



REVISED-SITE DEVELOPMENT PLAN & GRADING, SEDIMENT CONTROL PLAN

SCALE: AS SHOWN	SDP NO.: C2005-0068
DRAWN BY: JJC/KF	GP NO.: G02011840
CHECKED BY: JJC	Compliance NO.: E-2008-0357
BDPA JOB NO.: 446	
Rev-SDP DATE: January, 2009	SHEET NO. 1 OF 10

THIRD DISTRICT

REDEVELOPMENT OF PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

ANNE ARUNDEL CO., MD 21122

12-18-08	JJC	Site Analysis & Critical Area Notes -- Updated	JJC	12-18-2008
NO.	DATE	BY	REVISION	APPROVED
				DATE

\\HAL\LANDPROJECTS\R2\4462000\BDES_Rev-SDP_20090131.dwg\MP-Cover Sheet_01

TOR#613 446

I. PLANTING SPECIFICATIONS (NURSERY STOCK USE)

GENERAL NOTES

- A. SCOPE: The Landscape Contractor shall verify all quantities of plant material shown on this plan and in the plant list, and shall provide all materials, labor and equipment to complete all landscape work as shown on the plans and specifications.
- B. UTILITIES: The Landscape Contractor shall notify Miss Utility (1-800-267-7777) to verify the location of all main utilities and shall ask the General Contractor to locate lighting and other on-site utilities in the field before proceeding with the installation of any planting. If conditions arise in the field which necessitate the shifting of a plant location more than 15', the Landscape Architect is to be consulted.
- C. SUBSTITUTIONS: Any change in the type, size and quantity of plant material must be requested in writing and approved in writing by the Landscape Architect prior to installation.
- D. QUALITY STANDARDS: All plant material must be nursery grown and meet all of the qualitative criteria established by the current issue of the American Standard of Nursery Stock specifications published by the American Association of Nurserymen. Furthermore, all plant material must exhibit a full, symmetrical habit of growth that is characteristic of quality grown nursery stock. Any plant material exhibiting a spindly or top-sided habit or any other feature that detracts from its health or appearance will be rejected.
- E. DUG MATERIAL: All dug plant material shall have been dug before bud break or after leaf maturation. Any plant material exhibiting drooping new growth within two (2) weeks of being planted will be rejected and must be removed from the job.
- Boiled and burlapped plants shall be dug with firm natural balls of earth.
- Anti-desiccants shall be applied on all material dug while in foliage.

- F. POOR DRAINAGE: No plants shall be planted in situations that show obvious poor drainage. Such situations shall immediately be brought to the attention of the Landscape Architect and Owner, and if they deem necessary, the plants shall be relocated or the contract shall be adjusted to allow for drainage correction at the negotiated cost.
- G. SITE PREPARATION: It shall be the General Contractor's responsibility to present "clean" soil conditions to the Landscape Contractor prior to any Landscape installation. "Clean" soil may include on-site soil but must be free of pavement materials, muck, root systems, petroleum or other chemical substances, blue stone, construction debris and other materials larger than 2" in diameter. The "clean" soil shall extend to the following minimum depths: 18" where trees are proposed 12" where shrubs are proposed and 4" where lawn is proposed. If the Landscape Contractor encounters any areas to be deficient regarding these "clean" soil specifications, he shall report this condition to the Landscape Architect and Owner prior to planting in those areas.

- H. TOPSOIL: Topsoil shall consist of a natural friable loam, obtained from an area which has never been stripped, possessing characteristics of the best soils of the vicinity which produce heavy growths of crops, grass and other vegetation. The topsoil shall be of uniform composition, reasonably free of subsoil, clay lumps, stones, stumps, roots or other objects larger than 1" in any direction. The topsoil shall have an acidity range of pH 5.0 to pH 7.0 and shall not have less than 2.5% organic matter, as determined by the Thomas Rapid test. Topsoil from fields that have ever received weed killer shall not be used.

- I. WORKMANSHIP: During planting, all areas shall be kept neat and clean, and all reasonable precautions shall be taken to avoid damage to existing plants, turf and structures. Upon completion, all debris and waste material resulting from planting operations shall be removed from the project and the area cleaned up. Any damaged areas shall be restored to their original condition.

- J. WATER: If available on-site, the Owner shall supply water at no cost. It will be the Landscape Contractor's responsibility to assure that all plant material be maintained in a healthy condition during this period.

- K. MULCH: Unless otherwise specifically named & defined, all mulch referred to in these specifications and accompanying details shall be moist, well rotted, shredded hardwood of natural color. Mulch composed of recycled wood (i.e. ground pallets etc.), dry wood or bark nuggets, stones or other non-wood material, or material dyed to change its color will not be accepted.

- L. TREE TIE: Flat woven polypropylene material lock stitch with rounded weave, 3/4" wide with 900 lb break strength ("Arbortie Green" by Deep Root Partners, LP - or equal)

- M. GUARANTEE: All plant material shall be guaranteed for a period of one (1) year. It is the Landscape Contractor's responsibility to assure that all plant material be maintained in a healthy condition during this period.

The Landscape Contractor shall replace within 30 days of notice any and all plant material that declines to less than 75% of its original planted condition due to cultural reasons. The Landscape Contractor shall not be responsible for replacing plants for cultural reasons after the first instance of decline. If decline for cultural reasons occurs a second time, the Landscape Contractor shall be notified and an alternative planting remedy will be negotiated at an extra cost to the Owner.

The Landscape Contractor shall not be held responsible for any plant losses due to mechanical injury, theft or vandalism after the job is accepted by the Owner.

The Landscape Contractor shall provide to the Owner by the end of the one-year guarantee period a written comprehensive maintenance program that is tailored to this specific site.

PLANTING SPECIFICATIONS (BIO-RETENTION APPLICATIONS)

- A. THESE NOTES ARE AN ADDENDUM TO, AND IN ADDITION TO, THE PLANTING SPECIFICATIONS NURSERY STOCK USE LISTED ABOVE.
- B. SUBSTITUTIONS: Any changes in these specifications must be requested in writing and approved in writing by the Landscape Architect prior to installation.
- C. PLANTING SOIL: The Planting Soil should be a sandy loam, loamy sand, loam (USDA), or loam/sand mix (should contain a minimum of 35 to 60% sand, by volume). The clay content for these soils shall be less than 25% by volume. Soils should fall within the SM, ML, SC classifications or Unified Soil Classifications Systems (USCS). A permeability of a least 1.0 feet per day (0.2"/hr) is required. The soil should be free of stones, roots, or other woody material over 1" in diameter. Bush or seeds from noxious weeds (e.g., Johnson Grass, Mugwort, Nutedge, Canada Thistle or other noxious weeds as specified under COMAR 15.08.01.05.) should not be present in the soils. Placement of planting soils should be in 12" to 18" lifts that are loosely compacted (tamped lightly with a backhoe bucket or traversed by crawler tracks). The specific characteristics are presented in table below. The topsoil specification as outlined in the PLANTING SPECIFICATIONS NURSERY STOCK USE is not acceptable for use in the Bio-Retention applications.

D. PLANTING SOIL CHARACTERISTICS:

PARAMETER	VALUE
pH range	5.2 to 7.00
Organic matter	1.5 to 4.0% (by weight)
Magnesium	35 lbs. per acre, minimum
Phosphorus (phosphate -P2O5)	75 lbs. per acre, minimum
Potassium (potash -K2O)	85 lbs. per acre, minimum
Soluble salts	500 ppm
Clay	10 to 25%
Silt	30 to 55%
Sand	35 to 60%

II. PLANTING PROCEDURES

A. TREE PLANTING

1. PREPARING TREE PIT: The walls of the tree pit shall be dug so that they are vertical and scuffed. The diameter of the pit shall be a total of 3 times the ball diameter. Care should be taken not to excavate the tree pit below a depth that allows 2" of the ball to be above finished grade. If the pit is dug too deep, then the bottom of the pit must be firmly tamped (to prevent settlement).
2. PLACING TREE IN PIT: Place the tree in the pit either by lifting and carrying the tree by its ball (never lift by branches or trunk) and then lowering it into the pit.
- Set the tree straight and in the center of the pit with the most desirable side of the tree facing toward the prominent view (sidewalk, building, street, etc).
3. BACKFILLING TREE PIT: Backfill the tree pit with a mixture of 2/3 original excavated material amended with 1/3 topsoil (as specified in I-J above).
- Backfill sides of tree pit halfway with soil mixture and tamp before adding more backfill. Cut rope or wire on ball of tree and pull burlap back to the edge of the tree ball. Remove all plastic wraps and twine.
- Finish backfilling sides of tree pit and tamp firmly. Never cover top of root ball with soil.
- Form a saucer above existing grade and around the outer rim of the tree pit. Mulch top of root ball and saucer within 6 hours of planting to a depth of 2" to 3". DO NOT place mulch up against bark or trunk of tree.
- Water thoroughly on the interior of the tree saucer until it is filled even if it is raining. A second watering may be necessary to insure saturation of the root ball. Prune out any dead or broken branches.

B. SHRUB PLANTING

1. PREPARING SHRUB PIT: The walls of the shrub pit shall be dug so that they are vertical and scuffed. The diameter of the pit shall be a total of 2 times the ball diameter. Care should be taken not to excavate the shrub pit below a depth that allows 2" of the ball to be above finished grade. If the pit is dug too deep, then the bottom of the pit must be firmly tamped (to prevent settlement).
2. PLACING SHRUB IN PIT: Place the shrub in the pit either by lifting and carrying the shrub by its ball (never lift by branches) and then lowering it into the pit.
- Set the shrub straight and in the center of the pit with the most desirable side of the shrub facing toward the prominent view (sidewalk, building, street, etc).
3. BACKFILLING SHRUB PIT: Backfill the shrub pit with a mixture of 2/3 original excavated material amended with 1/3 topsoil (as specified in I-J above). Backfill sides of shrub pit halfway with soil mixture and tamp before adding more backfill. Cut rope or wire on ball of shrub and pull burlap back to the edge of the shrub ball. Remove all plastic wraps and twine.
- If shrub is container grown, remove container and lightly scarify root surface so the roots will not be confined in the pit.
- Finish backfilling sides of shrub pit and tamp firmly. Never cover top of root ball with soil.
- Form a saucer above existing grade and around the outer rim of the shrub pit. Mulch top of root ball and saucer within 48 hours to a depth 2" to 3".
- Water thoroughly on the interior of the shrub saucer until it is filled even if it is raining. A second watering may be necessary to insure saturation of the root ball. Prune out any dead or broken branches.

C. PERENNIAL AND ORNAMENTAL GRASS PLANTING:

1. PREPARE PLANTING BED: The edges of the pit shall be marked in the field as shown on the drawings. All turf grass shall be removed from the area as encompassed by the perennial bed. The entire bed should be amended with topsoil (as specified in I-J above) such that the resulting planting mix is 2/3 original material to 1/3 topsoil (as specified in I-J above).
2. PLACING PLANTS: Place plants in the bed adjusting arrangement to match that shown on drawings. When removing plants from containers, lightly scarify root surface so the roots are not confined. Set plants deep enough that the top of the containers soil line is at grade.
3. BACKFILLING PLANTING BED: Backfill the bed with a mixture of 2/3 original material amended with 1/3 topsoil (as specified in I-J above). Backfill around plants halfway with soil mixture and tamp before adding more backfill.
- D. SEEDING & SODDING SPECIFICATIONS: All disturbed areas not covered by building or pavements and landscaping are to be established in a lawn of Kentucky-31 Tall Fescue either by seed or sod, or combination, depending on the time of year, availability of materials and Owner's preference.

III. SPECIAL NOTE (PREPARATION OF PLANTING BEDS PROPOSED FOR AREAS OF EXISTING MACADAM)

- MACADAM REMOVAL:
A. Existing macadam shall be completely removed in those areas so designated on the plans. Removal includes, but is not limited to, all layers of paving and all sub-base materials down to the compacted sub-grade. The contractor is responsible for complying with the "Clean soil" requirements as specified in General Notes, Site Preparation (I-J).

- SUB-GRADE PREPARATION:
B. The compacted sub-grade shall be loosened or filled as follows:

Areas where trees are proposed shall be loosened to a depth of 12" below the bottom of the tree pit. The sidewalls of the pit shall be loosened to a diameter of at least 24" beyond the diameter of the actual hole.

Areas where shrubs are proposed shall be loosened to a depth of 6" below the bottom of the shrub pit. The sidewalls of the pit shall be loosened to a diameter of at least 12" beyond the diameter of the actual hole.

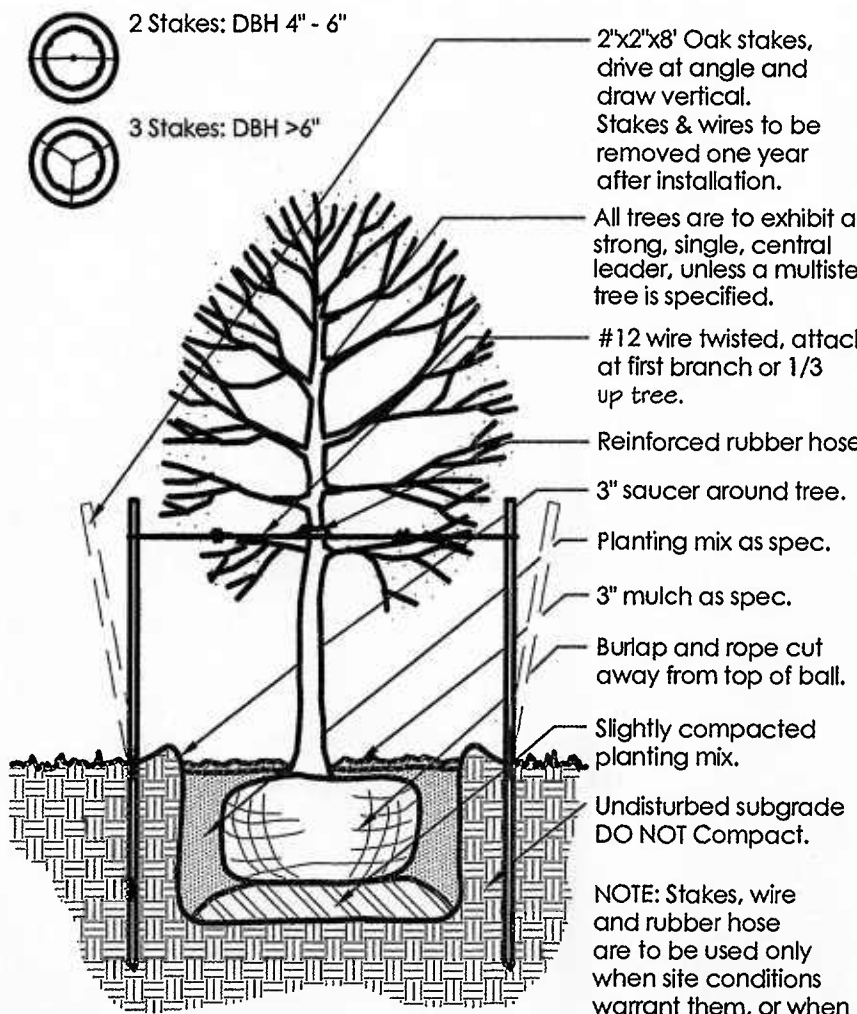
Areas where a groundcover or a lawn is proposed shall be thoroughly tilled to a total depth of 8" prior to seeding, sodding, or planting.

- PLANTING PIT PREPARATION (EXTRA NOTES):
C. Planting pits and beds shall be further prepared as specified in Planting Procedures (II) with the following exceptions:

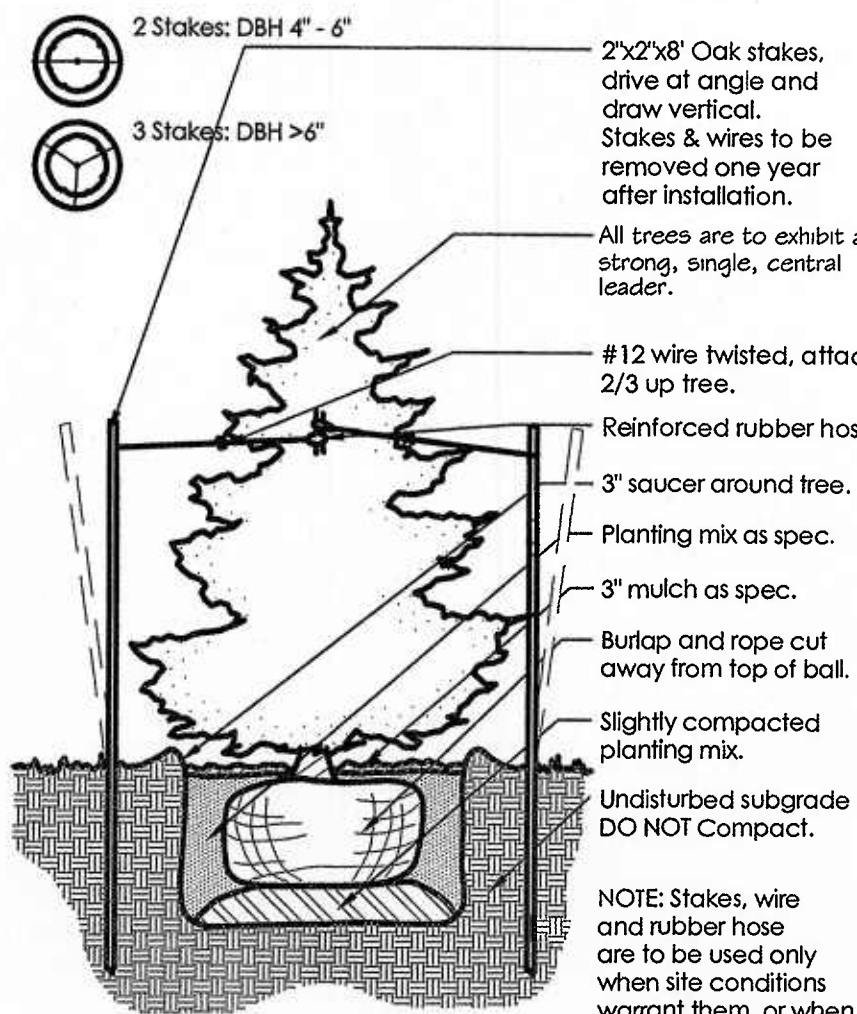
The material acquired as part of the macadam removal process may not be added to any part of the backfill used on this project.

Backfill will be added around, and under, the balls of trees and shrubs to bring the top of the balls and the surrounding soil level in the pits to the final elevation depicted on the plans.

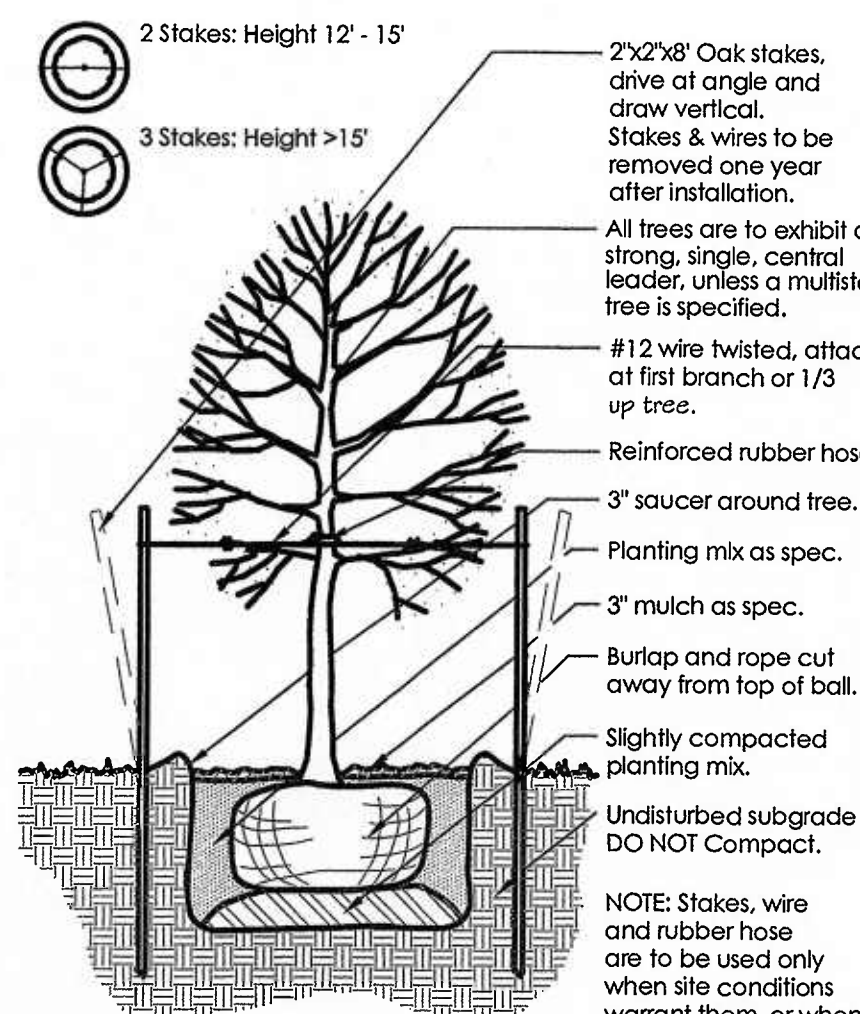
Backfill will be added to any groundcover or lawn areas to bring the bed elevation to the final grade depicted on the plans.



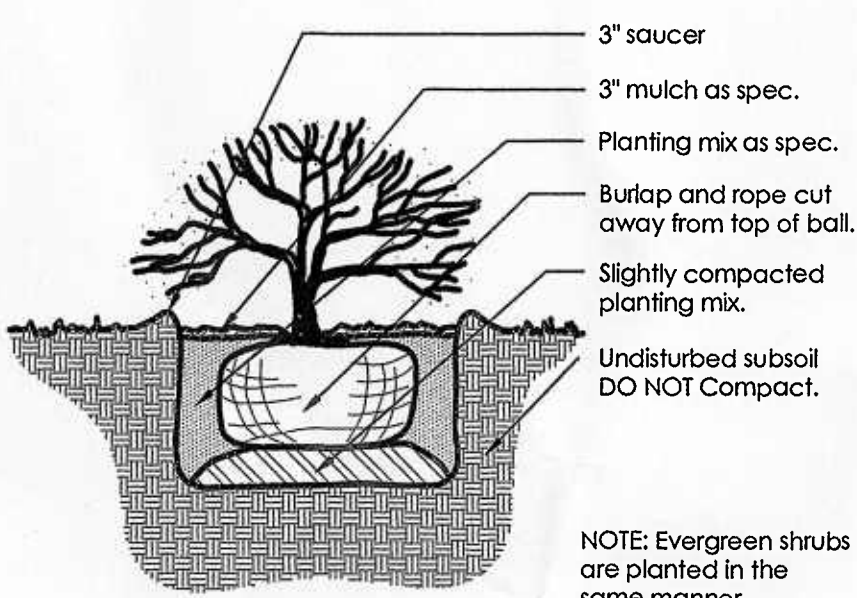
Shade Tree Planting Detail
No Scale



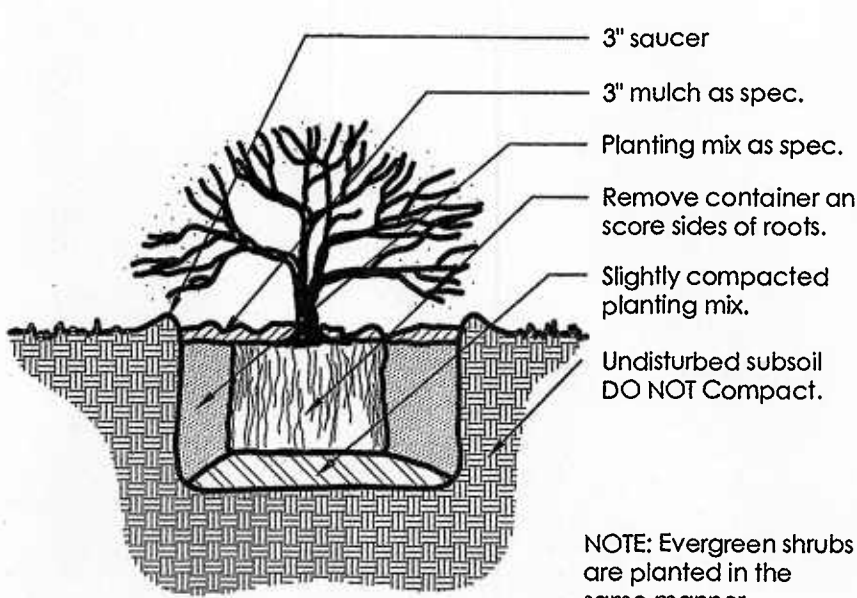
Evergreen Tree - 2 Stakes
No Scale



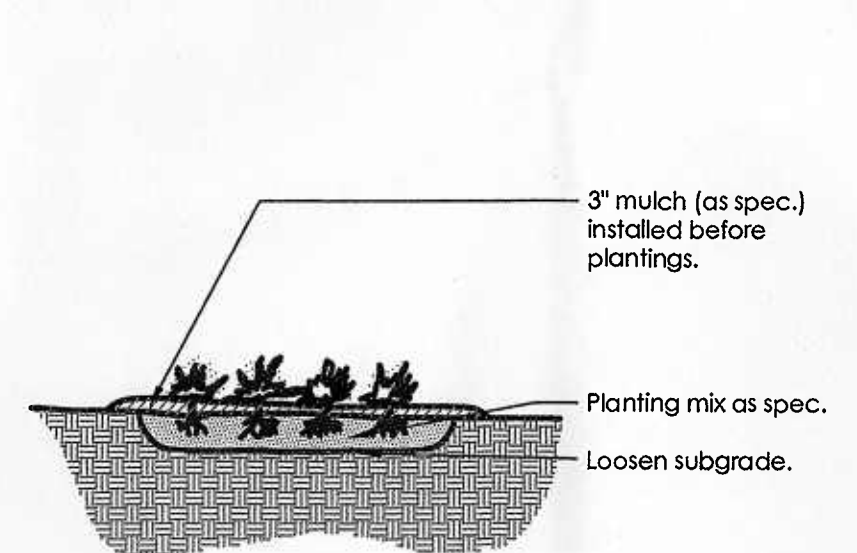
Ornamental Tree Planting Detail
No Scale



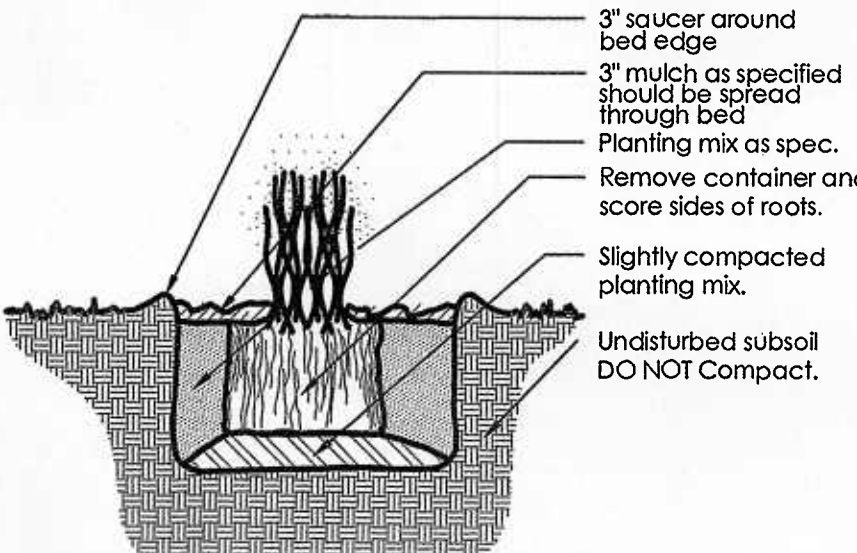
Ball & Burlapped Shrub
No Scale



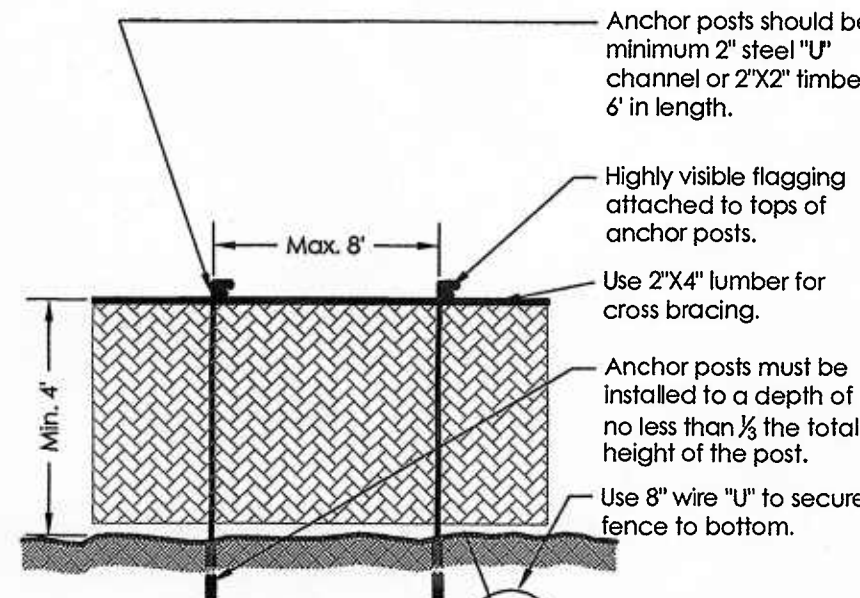
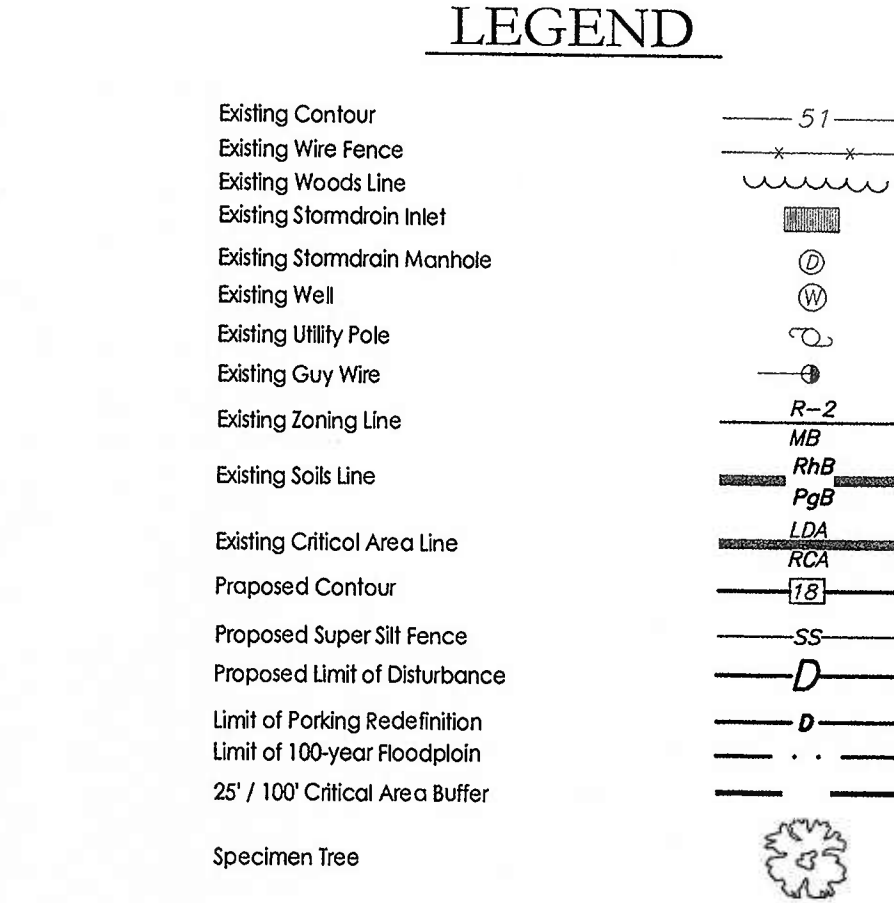
Container Shrub
No Scale



Groundcover & Perennials (Flat)
No Scale

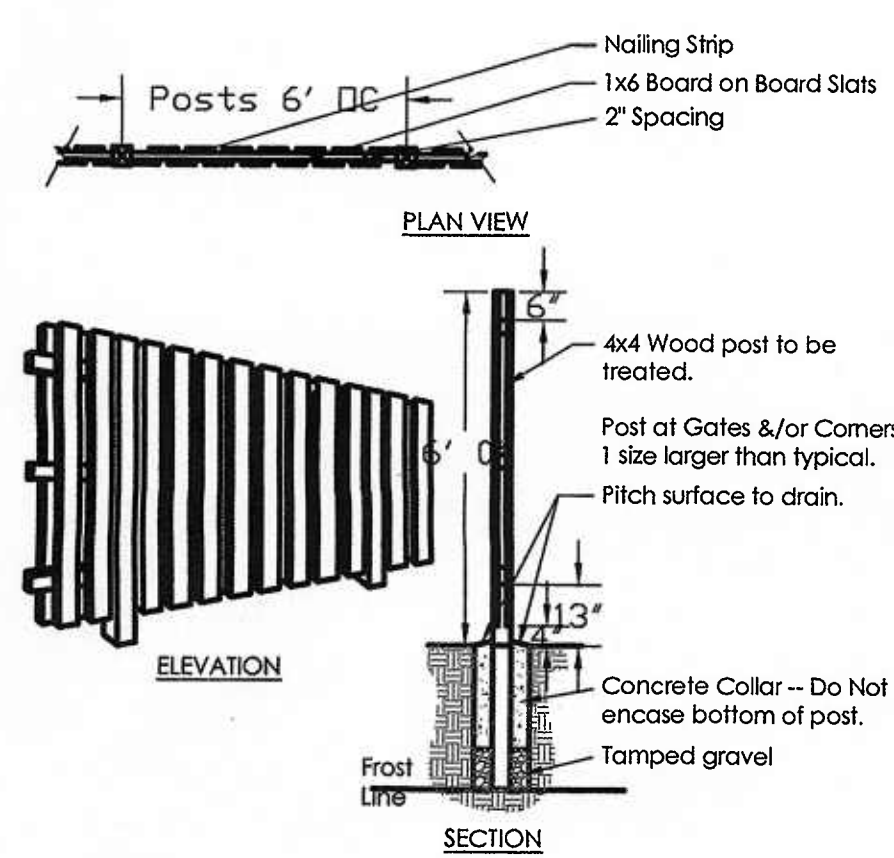


Ornamental Grass & Perennials (Container)
No Scale



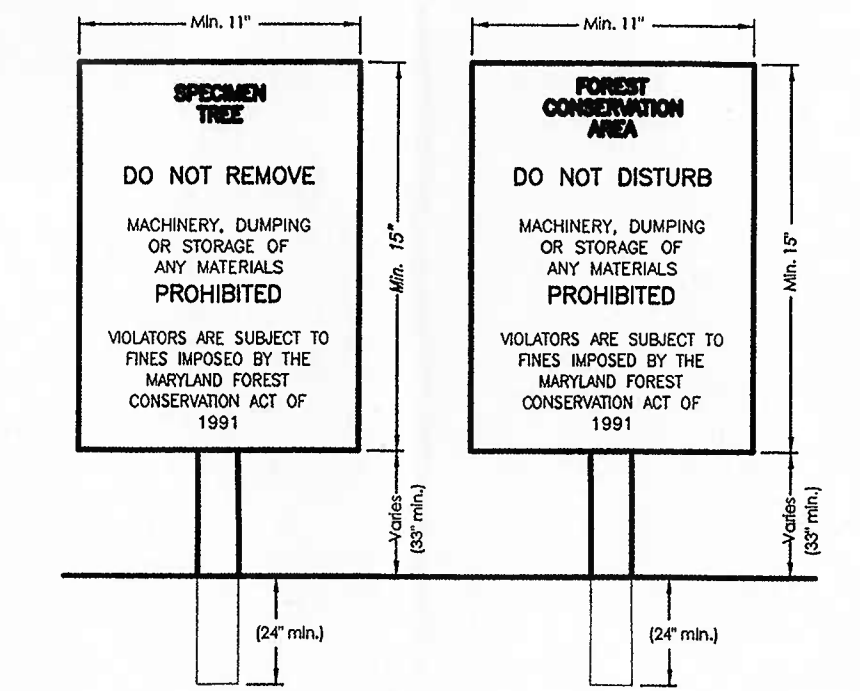
- NOTES:
1. Blaze orange or blue plastic mesh fence for forest protection device only.
2. Boundaries of Protected Area will be established as shown on the Landscape Plan.
3. Boundaries of Protected Area should be staked and flagged prior to construction beginning and installation of fencing.
4. Avoid damage to critical root zone. Do not damage or sever large roots when installing posts.
5. Device should be maintained throughout construction.

Standard Symbol
Tree Protection Fence
No Scale



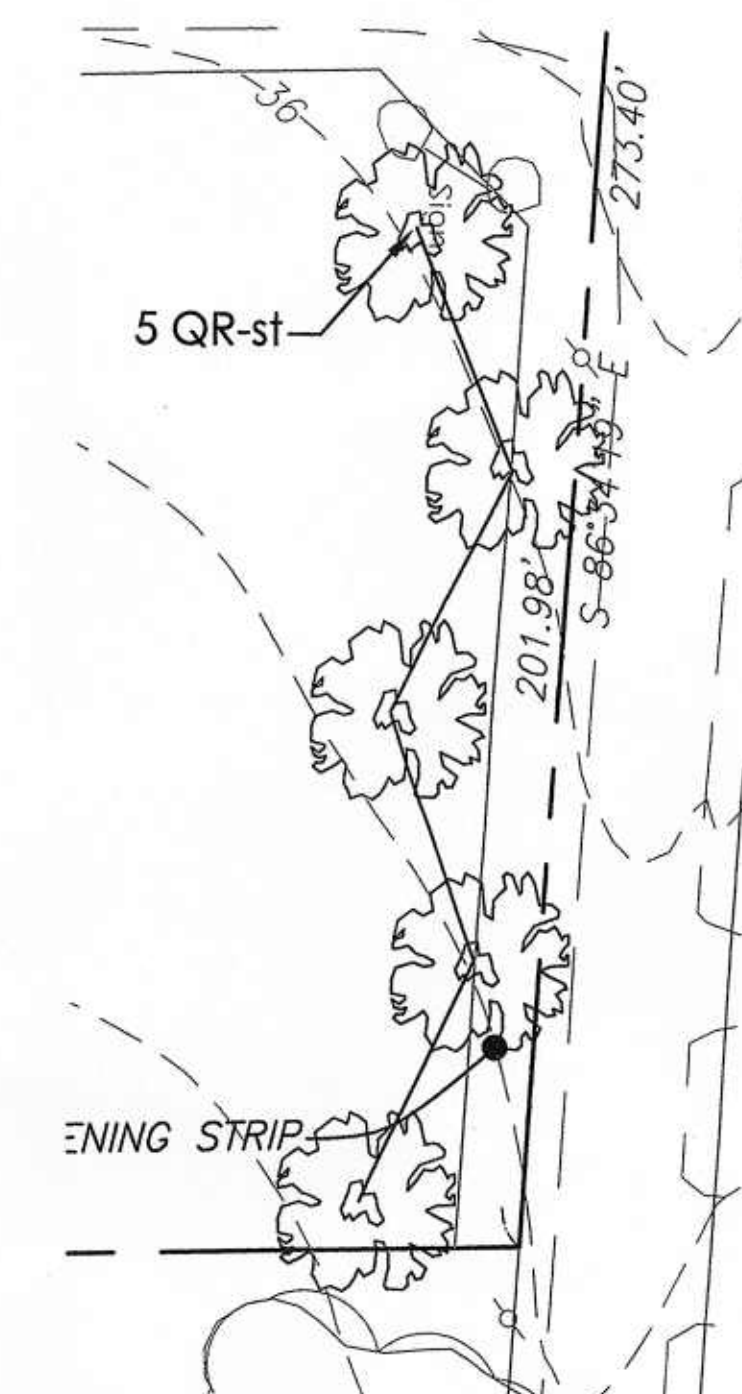
NOTE: All wood components are to be presuritized or better. All fasteners are to be corrosion resistant galvanized steel or better.

Board-on-Board Fence
No Scale



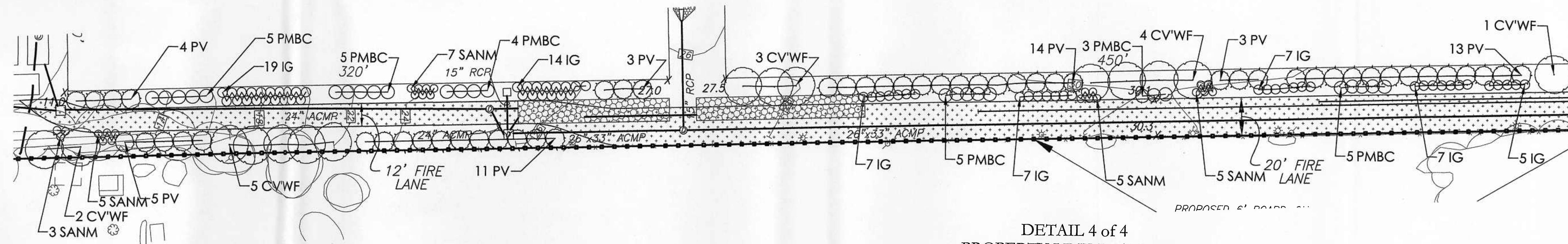


NOTES: 1) Plant substitutions shall not be made without the notification and written approval of the Landscape Architect.
2) Substitutions will not be allowed after the bid has been accepted.
3) In the event of any discrepancy between the plan and this list - the PLAN takes precedence.



DETAIL 3 of 4
STREET TREE PLANTING
SCALE: 1"=30'

NOTES: 1) Plant substitutions shall not be made without the notification and written approval of the Landscape Architect.
2) Substitutions will not be allowed after the bid has been accepted.
3) In the event of any discrepancy between the plan and this list - the PLAN takes precedence.



DETAIL 4 of 4
PROPERTY LINE PLANTING
SCALE: 1" = 30'

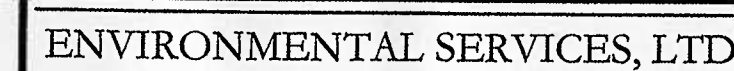
NOTE: Layers in Details have been turned off to provide greater clarity.

SDP Sheet# 21 of 25
GSC Sheet# 15 of 19

<div style="border: 1px solid black; padding: 5px; display: inline-block;"> RECEIVED JAN 9 2001 </div>			
CRITICAL AREA COMMISSION Charles & A. Hogue Contract Army's			
NO.	DATE BY	REVISION	APPROVED DATE

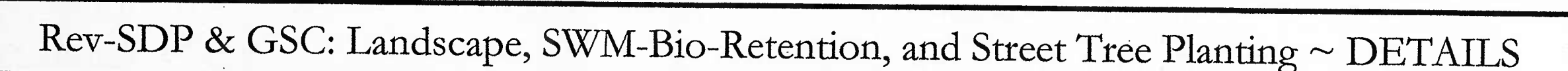
\\HAL\LANDPROJECTS R2\4462000\BDES_Rev-SDP_200090131.dwg/LP-Details_05

OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, MD 20855
(301) 517-8362



7678 Quarterfield Road, Suite 102
Glen Burnie, Maryland 21061

410-863-5901
FAX: 410-863-8844



SCALE: AS SHOWN	SDP NO.: C2005-0068
DRAWN BY: JJC/KF	GP NO.: G02011840
CHECKED BY: JJC	Compliance NO.: E-2008-035
BDPA JOB NO.: 446	
Rev-SDP DATE: January, 2009	SHEET NO. 6 OF 10

THIRD DISTRICT

REDEVELOPMENT OF PLEASURE COVE MARINA

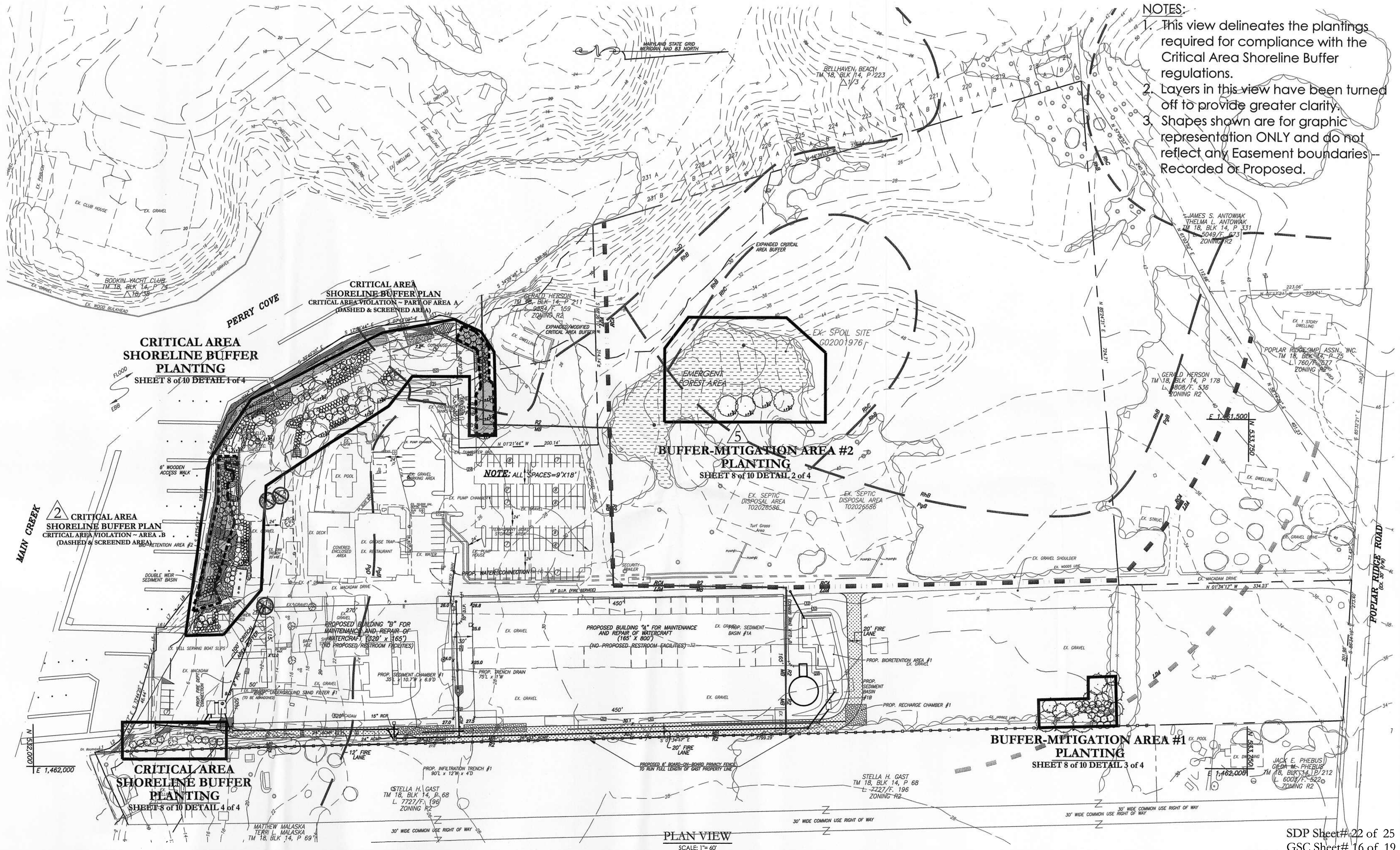
1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

ANNE ARUNDEL CO., MD 21122

TOR#613 116

NOTES:

1. This view delineates the plantings required for compliance with the Critical Area Shoreline Buffer regulations.
2. Layers in this view have been turned off to provide greater clarity.
3. Shapes shown are for graphic representation ONLY and do not reflect any Easement boundaries - Recorded or Proposed.



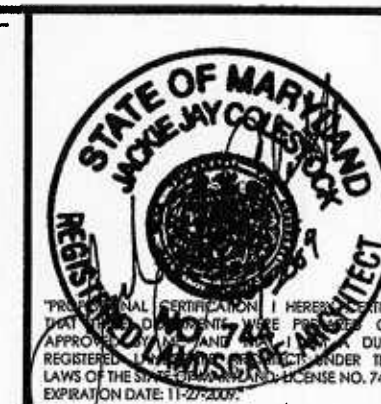
SDP Sheet# 22 of 25
GSC Sheet# 16 of 19

12-18-08	JJC	Planting adjusted to comply with Critical Area Violation Plan for Compliance Case # E-2008-0357	JJC	12-18-2008
02-06-09	JJC	Previously APPROVED plantings removed to allow for Emergent Forest as per AACo Forester.	JJC	02-06-09
NO. DATE AREA BY REVISION APPROVED DATE				

OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, MD 20855
(301) 517-8362



ENVIRONMENTAL SERVICES, LTD
7678 Quarterfield Road, Suite 102
Glen Burnie, Maryland 21061
410-863-5901
FAX: 410-863-8844



Rev-SDP & GSC: Critical Area Shoreline Buffer Planting ~ PLAN

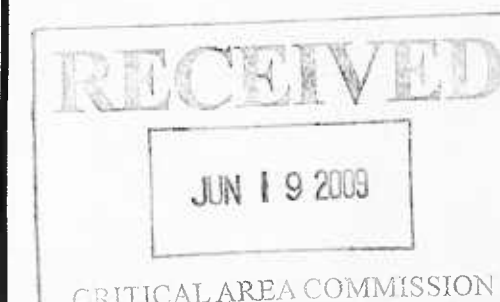
SCALE: AS SHOWN	SDP NO.: C2005-0068
DRAWN BY: JJC/KF	GP NO.: G02011840
CHECKED BY: JJC	Compliance NO.: E-2008-0357
BDPA JOB NO.: 446	Rev-SDP DATE: January, 2009
	SHEET NO. 7 OF 10

REDEVELOPMENT OF PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

ANNE ARUNDEL CO., MD 21122

SCALE: 1"= 40'



SCALE: 1"=30'



NOTES: 1) Plant substitutions shall not be made without the notification and written approval of the Landscape Architect.
2) Substitutions will not be allowed after the bid has been accepted.
3) In the event of any discrepancy between the plan and this list - the PLAN takes precedence.

NOTES: 1) Plant substitutions shall not be made with-out the notification and written approval of the Landscape Architect
2) Substitutions will not be allowed after the bid has been accepted.
3) In the event of any discrepancy between the plan and this list - the PLAN takes precedence.



SCALE: 1"=30'

ADDENDUM
REVISED SDP -- 02/2009

a) Proposed Additional Impervious Area w/1 the 25' Buffer;
b) Proposed Additional Impervious Area w/1 the Remaining 100' Buffer;
c) Impervious Area Mitigated as part of CA Violation (Case # E2008-03571) ~ Area A
d) Impervious Area Requiring Mitigation w/1 the Remaining 100' Buffer; (c - d)

Mitigation to be as Fee-In-Lieu.








25' Buffer

100' Buffer

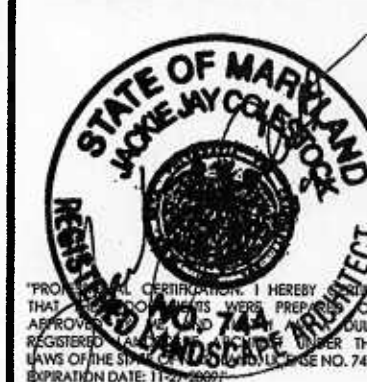
NOTE: Layers in Details have been turned off to provide greater clarity.

SDP Sheet# 23 of 25
GSC Sheet# 17 of 19

	12-18-08	JJC	Planting adjusted to comply with Critical Area Violation Plan for Compliance Case # E-2008-0357	JJC	12-18-2008
	12-18-08	JJC	Planting Schedule adjusted to include C. A. Violation Planting Area-B for Compliance Case # E-2008-0357	JJC	12-18-2008
	12-18-08	JJC	Approved Bonding Notation & new Impervious surface information added to Chart Bottom	JJC	02-20-09
	02-06-09	JJC	Previously <i>APPROVED</i> plantings removed to allow for Emergent Forest as per AA Co Forester.	JJC	02-06-09
	02-07-09	JJC	Previously <i>APPROVED</i> Plantings Schedule adjusted to match revised plantings in Area 2.	JJC	02-06-09
NO.	DATE	BY	REVISION	APPROVED	DATE

PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, MD 20855
(301) 517-8362

410-863-5901
FAX: 410-863-884



SCALE: AS SHOWN	SDP NO.: C2005-0068
DRAWN BY: JJC/KF	GP NO.: G02011840
CHECKED BY: JJC	Compliance NO.: E-2008-0357
BDPA JOB NO.: 446	
Rev-SDP DATE: January, 2009	SHEET NO. 8 OF 10

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

ANNE ARUNDEL CO. MD 21103

- NOTES:
1. This view delineates the plantings required for compliance with the Critical Area Violation Vegetative Management associated with Compliance Case # E-2008-0357
 2. Layers in this view have been turned off to provide greater clarity.
 3. Shapes shown are for graphic representation ONLY and do not reflect any Easement boundaries - Recorded or Proposed.

CRITICAL AREA VIOLATION PLANTING
SHEET 10 OF 10 DETAIL 1 OF 3

CRITICAL AREA VIOLATION PART OF AREA A (DASHED & SCREENED AREA)
CRITICAL AREA SHORELINE BUFFER PLAN
SHEET 8 OF 10 DETAIL 1 OF 4

CRITICAL AREA VIOLATION
Ex: Emergent Forest SP to be Bonded in-lieu of Prop Violation Mitigation Plantings
AREA A-4: 0.03% (2237 sq ft)
AREA C-1: 0.20% (11,451 sq ft) in-lieu of: 12 Shade Trees, 9 Ornamental Trees, 26 Shrubs
A-40: BONDING KEY SHEET 10 EX: SEPTIC FOREST CONSERVATION EASEMENTS KEY SHEET 10 AREA 102026586

NOTE: ALL SPACES = 9' X 18'

CRITICAL AREA VIOLATION PLANTING
SHEET 10 OF 10 DETAIL 2 OF 3

CRITICAL AREA VIOLATION PLANTING
SHEET 10 OF 10 DETAIL 3 OF 3

PLAN VIEW
SCALE: 1" = 60'

SDP Sheet# 24 of 25
GSC Sheet# 18 of 19

OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, MD 20855
(301) 517-8362



ENVIRONMENTAL SERVICES, LTD
7678 Quarterfield Road, Suite 102
Glen Burnie, Maryland 21061
410-863-5901
FAX: 410-863-8844



Rev-SDP & GSC: Critical Area Violation Vegetative Mitigation Planting ~ PLAN

SCALE: AS SHOWN	SDP NO.: C2005-0068
DRAWN BY: JJC/KF	GP NO.: G02011840
CHECKED BY: JJC	Compliance NO.: E-2008-0357
BDPA JOB NO.: 446	
Rev-SDP DATE: January, 2009	SHEET NO. 9 OF 10

REDEVELOPMENT OF PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

ANNE ARUNDEL CO., MD 21122

JOB#613-446

NO.	DATE	BY	REVISION	APPROVED	DATE
1	JUN 19 2009	JJC			

See Details:
 CA Violation-Mitigation ~ Areas A-1 & C-1
 CA Violation-Mitigation ~ Area A-2
 CA Violation-Mitigation ~ Area A-3

Code	Quantity	Scientific Name	Common Name	Size	Condition	Spacing
ACSS	5	Amelanchier canadensis	Shadblow Serviceberry	6' - 8'	B & B	As Shown
AGBg8	13	Andropogon gerardii	Big Bluestem	1 Gal.	Container	5' OC
CCER	6	Cercis canadensis	Eastern Redbud	6' - 8'	B & B	As Shown
CFCC	9	Cornus florida 'Cherokee Chief'	Cherokee Chief Dogwood	6' - 8'	B & B	As Shown
HDSJ	12	Hypericum densiflorum	St. John's Wort	3' - 4'	B & B	3' OC
KASL	12	Kalmia angustifolia	Sheep Laurel	2' - 2.5'	B & B	3' OC
PMBC	55	Phloxia melanocarpa	Black Chokecherry	2' - 2.5'	Container	As Shown
PV	19	Pinus virginiana	Virginia Pine	5' - 6'	B & B	As Shown
QA	1	Quercus alba	White Oak	2' - 2.5"	B & B	As Shown
QR	20	Quercus rubra	Red Oak	2' - 2.5"	B & B	As Shown
VAMV	13	Viburnum acerifolium	Mapleleaved Arrowwood	2' - 3'	B & B	5' OC
			Ylburium			

NOTES: 1) Plant substitutions shall not be made with-out the notification and written approval of the Landscape Architect
2) Substitutions will not be allowed after the bid has been accepted.
3) In the event of any discrepancy between the plan and this list - the PLAN takes precedence.

Critical Area Violation Bonding Notation:		
Violation Area	Mitigation Area	Bond Total @ \$1.20/sf*
Area A	21,538	\$25,846
Area B	3,241	\$3,889
Area C*	8,800	\$10,560
TOTAL BOND		\$40,295

*Note: 1) Bonding amounts taken from AACo letter 10/20/2008.
2) Area C is the square footage equivalent of 22 trees and 66 shrubs

Critical Area Violation Bond Requirement	\$40,295
---	-----------------

A Critical Area Shoreline Buffer Reforestation Bond in the amount of \$35,437 was submitted in March 2008 as part of the previous Forest Conservation Agreement. A portion of the Violation Areas were included in this previously submitted FCA Reforestation Bond. That area is Area B in its entirety.

Area B	Square footage previously bonded @ \$1.20/sq ft.	3241	\$-3,889
TOTAL CRITICAL AREA VIOLATION BOND TO BE PAID:			\$36,406

Violation Area	Required Planting	Provided Planting	Planting Location
----------------	-------------------	-------------------	-------------------

Area A -- Planting required in Square Feet.	21,538	10,339 Within the violation area.
		5,600 North of Building A
		4,120 Against row of white pines
		2,237 Adjacent to FC area.

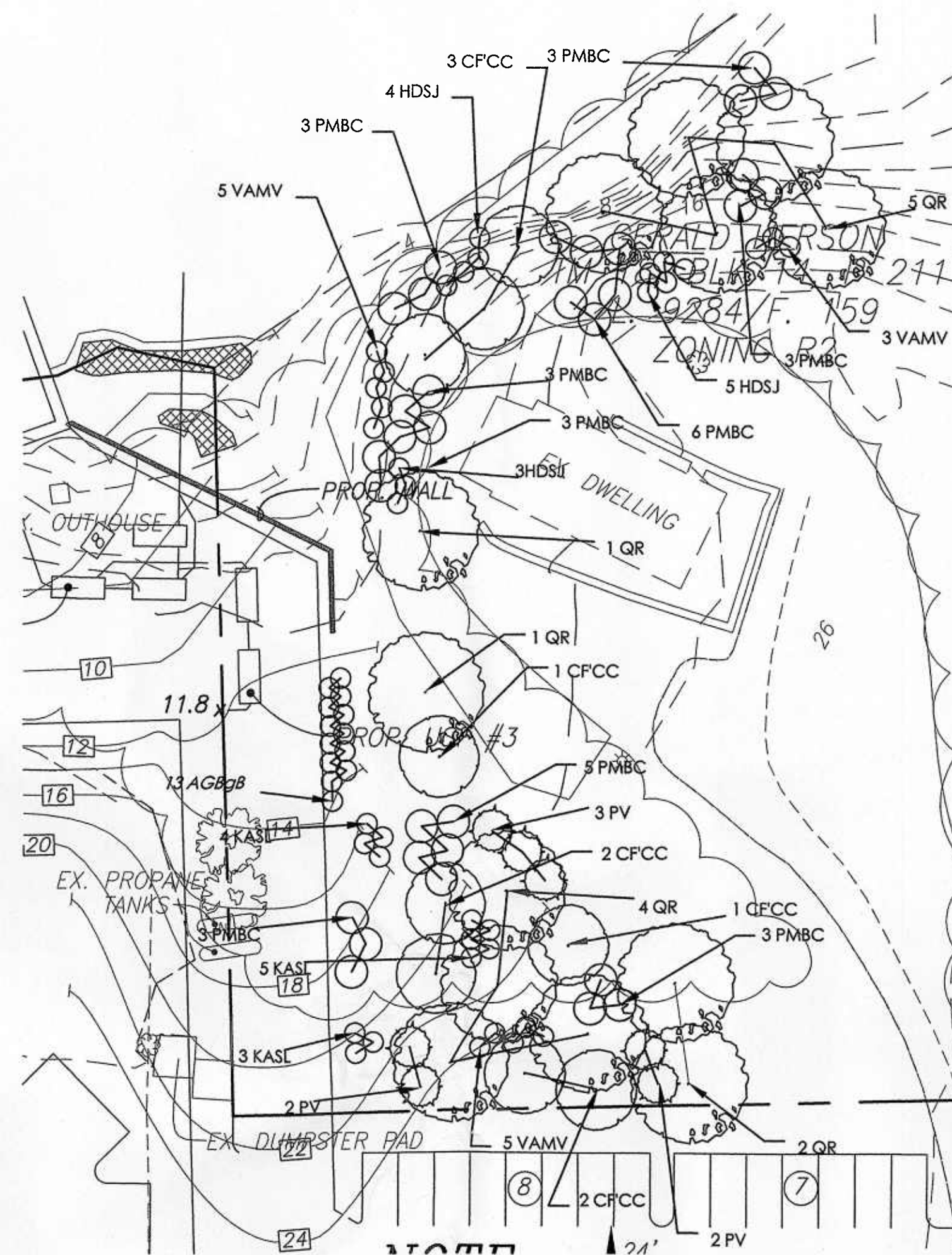
Area B – Planting required in Square Feet	3,241	3,408 Within the violation area.
Area B Totals:	3,241	3,408

Area C -- Planting required as individual plants		
Shade Trees	22	6 Within the violation area.

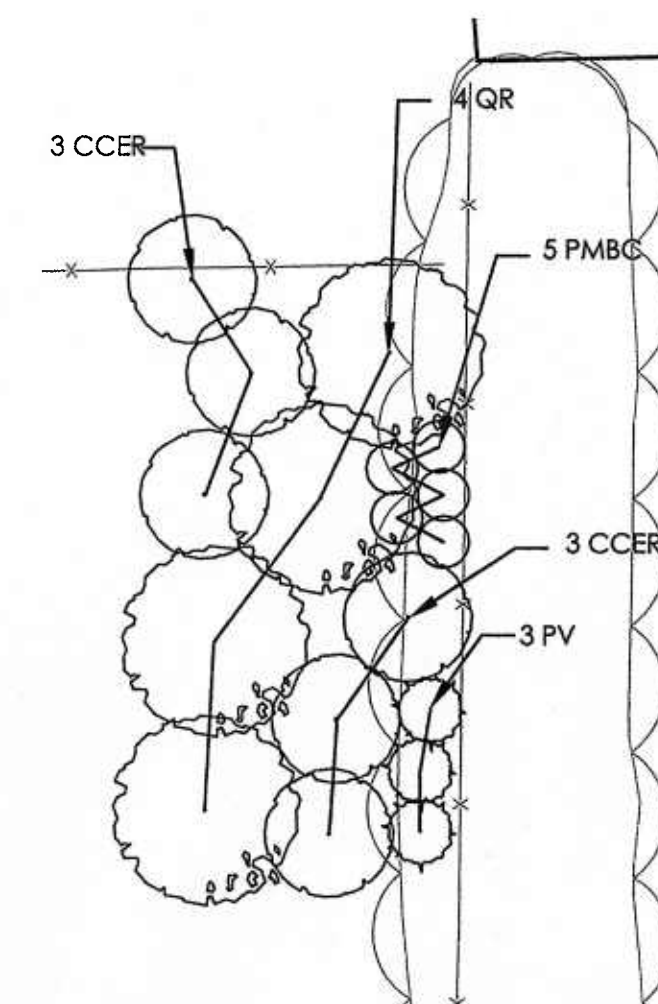
	(Not specified/usually allowed at 3:) substitution for Shade	
Ornamental Trees	Trees]	3 Within the violation area.
Ornamental Tree Total:		3 NOTE: 3/3 = 1 Shade trees.
Shrubs	66	42 Within the violation area.

Area C Totals:		
Shade Tree Total:	22	7 NOTE: 6+1 = 7 Shade Trees.
Shrub Total:	66	42

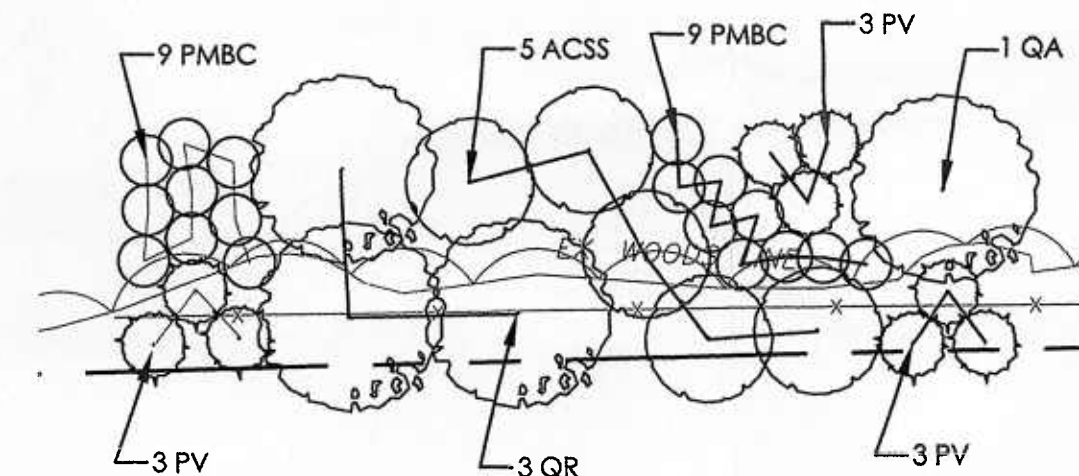
NOTE on Area C: In-lieu of planting the remaining 15 Shade Trees and 24 Shrubs 11,451 sqft of Emergent Forest will be placed in to Forest Conservation Easement.



DETAIL 1 of 3
CA VIOLATION-MITIGATION ~ AREAS 'A-1 & C-1'
SCALE: 1"= 30'



DETAIL 2 of 3
CA VIOLATION-MITIGATION ~ AREA 'A-2'
SCALE: 1"= 30'



DETAIL 3 of 3
CA VIOLATION-MITIGATION ~ AREA 'A-3'

NOTE: Layers in Details have been turned off to provide greater clarity.

SDP Sheet# 25 of 25
GSC Sheet# 19 of 19

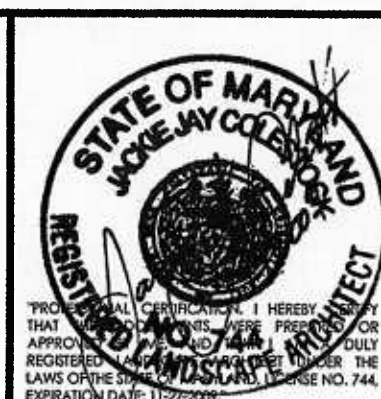
OWNER / DEVELOPER
PLEASURE COVE MARINA LLC
15525 Frederick Road
Rockville, MD 20855
(301) 517-8362



ENVIRONMENTAL SERVICES, LTD

7678 Quarterfield Road, Suite 102
Glen Burnie, Maryland 21061

410-863-5901
FAX: 410-863-8844



Rev-SDP & GSC: Critical Area Violation Vegetative Mitigation Planting ~ DETAILS

SCALE: AS SHOWN	SDP NO.: C2005-0068
DRAWN BY: JJC/KF	GP NO.: G02011840
CHECKED BY: JJC	Compliance NO.: E-2008-0357
BDPA JOB NO.: 446	
Rev-SDP DATE: January, 2009	SHEET NO. 10 OF 10

REDEVELOPMENT OF PLEASURE COVE MARINA

1701 POPLAR RIDGE ROAD
TAX MAP 18, BLOCK 14, PARCEL 73

ANNE ARUNDEL CO., MD 21122

JOB#613-446